



1368 Research Park Dr
Beavercreek, Ohio

BEAVERCREEK PLANNING COMMISSION
Regular Meeting – February 6, 2019, 6:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
 - A. December 5, 2018
- V. PUBLIC HEARINGS
 - A. PUD 06-6 CU 1/19, NOAH's Event Venue
 - B. PUD 06-6 SSP #3, NOAH's Event Venue
- VI. SUBDIVISIONS
 - A. S-19-1, Mission Point, Sec. 2
- VII. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, December 5, 2018

PRESENT: Ms. Akers, Mr. Hight, Mr. Loftis, Mr. Self, Mr. Shrider

ABSENT: None

Chairman Self called the meeting to order followed by roll call.

Ms. Akers MOVED approval of the agenda. Motion was seconded by Mr. Hight and PASSED by majority voice vote.

Mr. Loftis MOVED approval of the November 7, 2018 minutes. Motion was seconded by Mr. Shrider and PASSED by majority voice vote.

PUBLIC HEARINGS

PUD 18-1 SSP #1, Dunkin Donuts

Clerk Gillaugh read the notice of public hearing on an application filed by Gilligan Company, 3805 Edward Road, Suite 680, Cincinnati, OH 45209. The application requests approval of a specific site plan to allow for the development of a 2,215 square foot Dunkin Donuts on 0.6232 acres of land. The property is located on the northwest corner of Lantz Road and North Fairfield Road. The property is further described as Book 5, Page 5, part of Parcel 126 on the Greene County Property Tax Atlas.

Kara Burkhardt, representing Gilligan Company, stated staff did a thorough job of discussing their project in the staff report. She referred to a condition that stated the base of the ground sign needed to be brick or stone, but since the building doesn't have brick or stone she would propose to match the materials of the building. Ms. Burkhardt explained they worked closely with staff, and they ended up being a little further off North Fairfield Road than they wanted to be but was where the access to the site worked the best.

Mr. Burkett summarized the staff report dated November 30, 2018, which stated if the case was approved it would allow for the construction of a 2,215 square foot restaurant on 0.6 acres. He discussed the location of the property, the surrounding properties' zoning districts, the proposed site plan, the access point and vehicle circulation of the site, the parking requirements, the building elevations and materials, the landscaping plan, and the proposed signage. Mr. Burkett explained staff did not have any concern with changing the wording so the base of the ground sign would be consistent with the materials of the building. Staff recommended approval of the case with 21 conditions.

There being no public input, the public hearing was closed.

Mr. Hight said 80% of the business is through the drive-thru, and questioned what the businesses' hours of operation were. Ms. Burkhardt explained they are open from 7 am to 7 pm, but most of it is before 11 am. She stated they serve a customer about every

90 seconds, and the second drive thru lane is a new concept to facilitate their online and mobile app ordering. There was a discussion between Mr. Hight and Ms. Burkhardt regarding how many customers Dunkin Donuts serves per day. Mr. Hight asked if staff was comfortable with the amount of traffic turning out on North Fairfield Road since Lantz Road would not be cut-through yet. Mr. Burkett explained there is a traffic light at Lantz Road and North Fairfield Road, and did not feel like there would be an issue.

Mr. Loftis asked if the signage on the rear of the building (north side) would be visible to the residential properties abutting to the site. Mr. Burkett explained that lot is currently vacant right now, but the signage would most likely be visible. Mr. Loftis questioned if staff would have an issue if they proposed to remove the sign from that side of the building. Mr. Burkett said it is for traffic heading south so they can see the building. Mr. Loftis felt it made the R-1A lot very unattractive. Mr. Burkett explained the lot to the north is designated as office on the Land Use Plan, so if it is rezoned it would most likely be for an office use. Mr. Loftis said with the way it is zoned today, a person could buy it and build a house. Mr. Burkett stated that was correct, however if they bought it after the restaurant was built they would be aware of the building and the sign would already exist.

Mr. Shrider asked if the sidewalks were going to be consistent with what is constructed beyond this development. Mr. Burkett said whenever Lantz Road is constructed the sidewalks will extend and will match what currently exists.

Mr. Self said the conditions address the lighting being reduced after closing and the light poles being no taller than 16 feet, and questioned if 16 feet is too high with the close proximity to residential properties. Mr. Burkett stated that is what they have done in other developments, and they will have to have 0.0 footcandles at the property lines with no spillover. Mr. Self expressed some concern with the sign on the north elevation, and was worried about it being lit. Mr. Hight believed that lot was for sale with a big commercial for sale sign on it, and didn't feel anyone was going to try to build a residential house there. Mr. Self felt as long as the base of the ground sign matched the building he did not have an issue with amending the condition. Mr. Self asked if there were going to be delivery trucks coming into the site in the middle of the night or very early in the morning. Ms. Burkhardt said there would be no one there to receive the deliveries that early in the morning. Mr. Self referred to the planting on the south side, and wanted to make sure they were setback far enough there would not be a line-of-sight issue. Mr. Burkett said he would check the plant type and would talk with the City Engineer to make sure it would not be an issue.

Mr. Loftis MOVED to approve PUD 18-1 SSP #1 with 21 conditions, modifying Condition #20:

1. The approved site and landscape plans shall be the plans dated "Received November 29, 2018" except as modified herein.

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2. The approved architectural elevations shall be the plans dated "Received November 29, 2018" except as modified herein.
3. A PUD Agreement must be signed by the owner and a bond or letter of credit must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the Planning and Zoning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
5. A final subdivision shall be recorded with the Greene County Auditor's office prior to the release of a zoning permit for the project.
6. A detailed landscape plan shall be reviewed and approved by the Planning Department prior to the execution of the required PUD Agreement and the release of a zoning permit for the building.
7. Final cut sheet details and photometric plans for the lighting of the site shall be reviewed and approved by the Planning Department, prior to the issuance of a zoning permit.
8. Maximum mounting height for any parking lot fixture shall be 16 feet, including the base. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within two hours after closing.
9. All pole-mounted lighting shall be located within a landscaped or concrete island and shall not be permitted to be located within any designated parking stall for the site. This shall be reflected on the photometric plan prior to the release of a zoning permit.
10. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including storm drainage facilities. The City reserves the right to require more frequent collection as deemed necessary.
11. The building exterior shall not be painted or altered in any way that varies from the approved elevations unless otherwise approved by the Planning Department or, if required, by the City Council and/or Planning Commission.
12. All main and service doors shall be painted to match the adjacent building materials per the approval of the Planning Department.

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13. All trash collection containers shall be enclosed within a building or screened from view through the use of a permanent dumpster enclosure designed to match the building by using the same materials as those found on the building. All ground mounted mechanical equipment shall be screened from view per the review and approval of the Planning Department.
14. All concerns of the City Engineer, Fire Department, Sanitary Engineer, Planning Department and the Beavercreek Police Department shall be addressed prior to the issuance of a permit for the project.
15. All roof top mechanical units shall be completely screened from view from all directions with architectural features (roof forms or parapets).
16. The parking lot shall be kept in good condition. The City Engineer reserves the right to determine if the parking lot pavement condition is in disrepair and has not been maintained in a commercially acceptable condition, and that improvements are required. Those improvements shall be completed in a timely manner to the City Engineer's satisfaction.
17. No portion of this building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by a prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
18. Any portion of the site disturbed by grading and on which no construction occurs within three months after completion of the site grading shall be planted with appropriate ground cover and properly maintained.
19. Exterior construction hours shall be limited to Monday thru Saturday 7AM to 7PM.
20. There shall be a maximum of one ground sign for this project. The ground sign, which shall include a minimum 1-foot tall, consistent with building design and materials, shall be a maximum of 5 feet tall and have a maximum 25 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a base that shall be constructed of the same brick as used to construct the principal structure.
21. The final stormwater plan shall be reviewed and approved by the City Engineer, and bonding shall be put in place, prior to the release of a zoning permit.

Motion was seconded by Mr. Hight. Motion PASSED by a roll call vote of 5-0.

PUD 18-3 SSP #1, Dollar General (Case was tabled at November 7th PC meeting.)

Mr. Hight MOVED to untable PUD 18-3 SSP #1. Motion was seconded by Mr. Shrider. Motion PASSED by unanimous voice vote.

Clerk Gillaugh read the notice of public hearing on an application filed by Beavercreek DOHP, LLC, 9010 Overlook Boulevard, Brentwood, TN 37027. The application requests approval of a specific site plan to allow for the development of a 9,100 square foot retail store on 3.41 acres. The property is located at 3867 Dayton-Xenia Road further described as Book 2, Page 11, Parcels 140, 141, 144, 145, and 146 on the Greene County Property Tax Atlas.

Bob Gage, GBT Reality, representing Dollar General, stated they have been working with staff and wanted to discuss a few of the conditions they had concerns with. He referred to the exterior elevations, and stated they would prefer to not put a cornice cap on the building and preferred to go with the coping cap. He explained they had some concerns with the exterior downspouts only being allowed on the southern elevation of the building because the roof slopes to the east and is normally where the downspouts would be located. Mr. Gage said they would prefer not to curb the whole parking lot, and discussed how they normally sheet drain their parking lots. He referenced the sidewalk along the building, and stated they did not have a problem making the sidewalk six feet wide or adding bumper blocks in that area. Mr. Gage explained they had an issue with putting low shrubs around the building because it is a maintenance problem for the building. He stated in the past when they ran into this they have offered to located some planters in the same locations that would sit on the sidewalk. Mr. Gage referred to the fence, and said they would opt to remove the fence. He explained the monument sign they typically construct is eight feet tall, and he requested they modify the condition to allow for the eight feet in height.

Mr. Burkett summarized the staff report dated November 15, 2018, which stated the applicant is requesting approval to construct a 9,100 square foot Dollar General retail store on about 3.5 acres. He discussed the location of the property, the recently approved rezoning case, the site plan, the access to the site, the curbing requirements, the future sidewalk design connection, the proposed additional landscaping island, the landscaping plan, the proposed elevations and building materials, the requirement that the downspouts be mounted inside the wall, the lighting plan, and the signage requirements. Mr. Burkett reviewed several of the conditions in the resolution, and recommended approval of the case with 28 conditions.

There being no public input, the public hearing was closed.

Ms. Akers asked the applicant why they preferred the eight foot sign instead of the five foot sign, and if the five foot sign would be inadequate. Mr. Gage knew the retailer was going to have an issue with the five foot sign, and that they push the eight foot high sign.

Mr. Loftis felt like there were a lot of issues between the City and the applicant and asked if staff felt they were rectifiable. Mr. Burkett said yes as long as the conditions stay similar to the way they were proposed. He believed this was a good project and they do want to see it move forward, but they want to see it done to the same standard they have held other developers to for decades. Mr. Loftis asked what the applicant's thoughts were if they did attach those conditions. Mr. Gage said the project would move forward if those conditions were attached, and stated it was his job to come and try to get as close to their prototypical design as possible. He discussed the cornice issue, and asked if it could be limited to one side of the building and not the three sides. Mr. Loftis said it is going to be visible on three sides, and felt it needed to be present on all sides.

Mr. Self asked if the ponds would be retention or detention ponds. Mr. Burkett said they are dry ponds. Mr. Self said typically when there is a curbed parking lot with catch basins they normally have at least one oil trap from going into the ground water. Mr. Burkett said that was correct, and they will have to meet the Ohio EPA Water Quality Standards. Mr. Self questioned if staff had any issues with planters along the building rather than actual in-ground planting. Mr. Burkett explained his preference would be the plants are planted in the ground. Mr. Self referred to the drawings and said it appears the HVAC units stick up above the parapet. Mr. Burkett said from this angle it does appear they do, and said if they add the cornice that would help screen them as well. Mr. Self and Mr. Burkett discussed the requirement regarding the cornice, and it was agreed it should be on the three sides of the building. Mr. Self questioned if these properties along Dayton-Xenia Road were flat, and was asking because of the line-of-sight for the sign. Mr. Burkett explained the buildings across the street sit up pretty high. Mr. Self said he could understand making the sign taller if it was in a dip, but felt the right-of-way along there was pretty flat. Mr. Burkett stated there are some contours. Mr. Self and Mr. Burkett discussed several other ground sign heights along Dayton-Xenia Road.

Ms. Akers referred to Condition #27, and asked if they would adjust the downspouts to the eastern side of the building if they would have any objections to them being painted to be match the building. Mr. Gage said they would not.

Mr. Gage explained the site they are looking at does dip off the road fairly substantially by the time it gets down the drive and to the building. Mr. Self said the ground sign will be out towards the right-of-way, so it will be able to be seen.

Mr. Self questioned if the applicant would have any objections with having internal downspouts. Mr. Gage and Mr. Burkett discussed how they could be constructed and how they could be constructed.

Mr. Shrider MOVED to approve PUD 18-3 SSP #1 with 28 conditions, modifying Conditions #23 and #27:

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1. The approved site and landscape plans shall be the plans dated "Received October 30, 2018" except as modified herein.
2. The approved architectural elevations shall be the plans dated "Received November 12, 2018" except as modified herein.
3. A PUD Agreement must be signed by the owner and a bond or letter of credit must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the Planning and Zoning Department.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
5. A final subdivision shall be recorded with the Greene County Auditor's office prior to the release of a zoning permit for the project.
6. A detailed landscape plan shall be reviewed and approved by the Planning Department prior to the execution of the required PUD Agreement and the release of a zoning permit for the building. There shall be a decorative or ornamental tree added to the landscape island northwest of the building, as well as a 3 foot wide landscape strip with shrubs and grasses added between the base of the building and the sidewalk around the building, as shown in Exhibit A.
7. An additional landscape island and tree shall be added to the parking lot north of the building, as shown in Exhibit A.
8. Final cut sheet details and photometric plans for the lighting of the site shall be reviewed and approved by the Planning Department, prior to the issuance of a zoning permit.
9. Maximum mounting height for any parking lot fixture shall be 16 feet, including the base. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within two hours after closing.
10. All pole-mounted lighting shall be located within a landscaped or concrete island and shall not be permitted to be located within any designated parking stall for the site. This shall be reflected on the photometric plan prior to the release of a zoning permit.
11. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including storm drainage facilities. The City reserves the right to require more frequent collection as deemed necessary.

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12. The building exterior shall not be painted or altered in any way that varies from the approved elevations unless otherwise approved by the Planning Department or, if required, by the City Council and/or Planning Commission.
13. All man and service doors shall be painted to match the adjacent building materials per the approval of the Planning Department.
14. All trash collection containers shall be enclosed within a building or screened from view through the use of a permanent dumpster enclosure designed to match the building by using the same materials as those found on the building. All ground mounted mechanical equipment shall be screened from view per the review and approval of the Planning Department.
15. All concerns of the City Engineer, Fire Department, Sanitary Engineer, Planning Department and the Beavercreek Police Department shall be addressed prior to the issuance of a permit for the project.
16. All roof top mechanical units shall be completely screened from view from all directions with architectural features (roof forms or parapets).
17. The parking lot shall be kept in good condition. The City Engineer reserves the right to determine if the parking lot pavement condition is in disrepair and has not been maintained in a commercially acceptable condition, and that improvements are required. Those improvements shall be completed in a timely manner to the City Engineer's satisfaction.
18. No portion of this building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by a prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
19. Any portion of the site disturbed by grading and on which no construction occurs within three months after completion of the site grading shall be planted with appropriate ground cover and properly maintained.
20. No outdoor speakers shall be installed or used on this site.
21. There shall be a maximum of one ground sign for this project. The ground sign, which shall include a minimum 1-foot tall, brick and/or stone base and wrap, shall be a maximum of 5 feet tall and have a maximum 25 square feet per sign face. The final design and location shall be subject to review and approval by the Planning Department prior to release of a permit for the sign. Any ground sign shall be set in a

base that shall be constructed of the same brick as used to construct the principal structure.

22. The parking lot shall be curbed, as required by the City Engineer.

23. No fence is required but if the fence is constructed it should be made of vinyl.

24. The sidewalk to the west of the building shall be either 6 feet wide, or bumper blocks shall be added to the parking spaces immediately adjacent this sidewalk.

25. The final location and design of the spur sidewalk from the parking lot to the future sidewalk along Dayton-Xenia Road shall be reviewed and approved by the City Engineer prior to the release of the zoning permit.

26. This approval shall be contingent on the rezoning for PUD 18-3 be approved by City Council and the 30-day referendum period be passed.

27. External downspouts shall be prohibited.

28. The final architectural plans shall include a cornice cap similar to the one shown in Exhibit B on the north, east and west elevations, as well as two windows on the northern elevation.

Motion was seconded by Mr. Hight. Motion PASSED by a roll call vote of 5-0.

DECISION ITEMS

PUD 88-21 MOD 11/18, Minor, Mall at Fairfield Commons Façade Renovation

Ms. Pereira summarized the staff report dated November 19, 2018, on a request by Washington Prime Group, 180 East Broad Street, Columbus, OH 43215. The applicant is requesting approval to modify the exterior of the former Sears Department Store to accommodate two new tenants within the Mall at Fairfield Commons. Staff recommended approval of the case with four conditions.

Mr. Loftis asked if there was any concern with the bright red on the building. Ms. Pereira explained staff originally had concerns because it was a lot more red, and they came to an agreement the proposed plan looks a lot better. She explained they don't have as much of a concern because it is the lower part of the store and it is not visible from N. Fairfield Road. Mr. Loftis questioned why the exterior of the buildings are going to be gray. Ms. Pereira explained staff is seeing developments going with darker more modern tones so staff is open to seeing these types of renovations. She stated if the other department stores change, staff will make sure everything is kept similar and consistent and will be a continuation of these changes.

Mr. Hight asked if the gray was going to go all the way to the entrance. Ms. Pereira explained it will stop where the store stops.

Ms. Akers questioned who owned the portion of the mall that contains the entrance. Ms. Pereira explained it is part of the main mall. Ms. Akers asked what is on the other side of it. Ms. Pereira said it is Spinoza's Pizza.

Mr. Self asked if the owners of the mall or staff had any issues with breaking up the unified exterior of the mall. Ms. Pereira explained the traditional mall is going by the wayside and they need to be creative to occupy these large spaces that occupants do not want to occupy anymore. Mr. Self verified where the red would be located.

Mr. Hight MOVED to approve PUD 88-21 MOD 11/18 with four conditions:

1. The plans stamped "Received Nov 09, 2018" shall be the approved architectural plans for this modification.
2. Sign sizes and locations shall generally adhere to those indicated in the approved plans. Final sizes and locations shall be approved by the Planning and Development department prior to the issuance of sign permits.
3. Any landscaping removed or damaged as part of this renovation must be replaced immediately following completion of the renovation.
4. No temporary signs of any kind are permitted within this development or along North Fairfield Road, Pentagon Boulevard or Commons Boulevard.

Motion was seconded by Ms. Akers. Motion PASSED by a roll call vote of 5-0.

SUBDIVISIONS

S-18-8, Dunkin Donuts

Ms. Pereira summarized the staff report dated November 21, 2018, on a request by Gilligan Company, 3805 Edwards Road, Ste. 680, Cincinnati, OH 45209. The applicant is requesting approval of a final subdivision for approximately 3.6 acres in order to create a lot for the proposed Dunkin Donuts Restaurant. Staff recommended approval of the case with three conditions.

Mr. Self asked if this was a lot split. Ms. Pereira said yes.

Mr. Loftis MOVED to approve S-18-8 with three conditions:

1. The approved record plan shall be the plan stamped "Received Nov 12, 2018," except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beaver Creek Township Fire Department shall be addressed

and satisfied prior to release of the record plan for recording.

3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format

Motion was seconded by Mr. Shrider. Motion PASSED by a roll call vote of 5-0.

ADJOURNMENT

Ms. Akers MOVED adjournment at 7:18 p.m., seconded by Mr. Loftis. Motion PASSED by majority voice vote.

Melissa Gillaugh
Deputy Clerk

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: February 6, 2019	Reference Topic PUD 06-6 SSP#3 and CU 19-1
Agenda Reference No.	Noah's Event Venue

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval of a detailed site plan for the construction of a banquet center within Mission Pointe, to be located on 2.9 acres. The proposed project is located on the east side of Mission Point Boulevard, approximately 700 feet south of Colonel Glen Highway. Because banquet halls are allowed as a Conditional Use the list of permitted uses for this PUD, there is a separate Resolution of approval for the Conditional Use is also included in your packet.

STAFF RECOMMENDATION:

Staff is recommending approval of this Specific Site Plan and Conditional Use as outlined in the attached Resolutions.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or table the attached application for further review.

Burkett

City of Beavercreek Staff Report

February 1, 2019

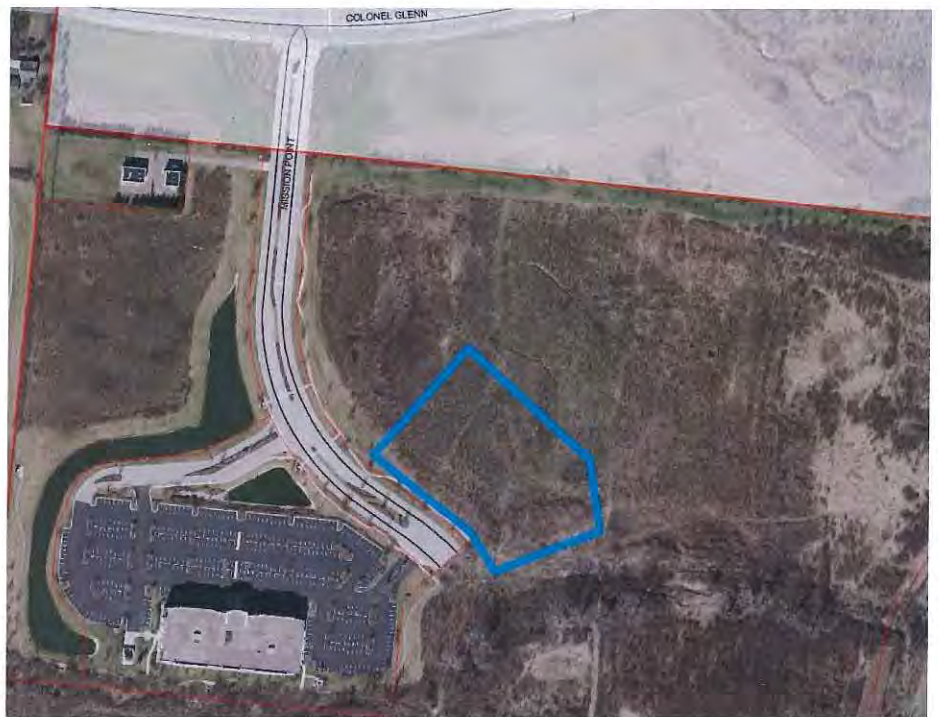
PROJECT: Noah's Event Venue
CASE #: MX-PUD 06-6 SSP#3 and CU 19-1
APPLICANT: Chris Winkle (Agent for the Owner)
47 Greenfield Drive
Milford Center, OH 43045

REQUEST

The applicant is requesting approval of a detailed site plan for the construction of a 7,520 square foot banquet center within Mission Pointe, to be located on 2.9 acres. The proposed project is located on the east side of Mission Point Boulevard, approximately 700 feet south of Colonel Glen Highway. Because banquet halls are allowed as a Conditional Use the list of permitted uses for this MX-PUD, a separate Resolution of approval for the Conditional Use is also included in your packet.

EXISTING CONDITIONS

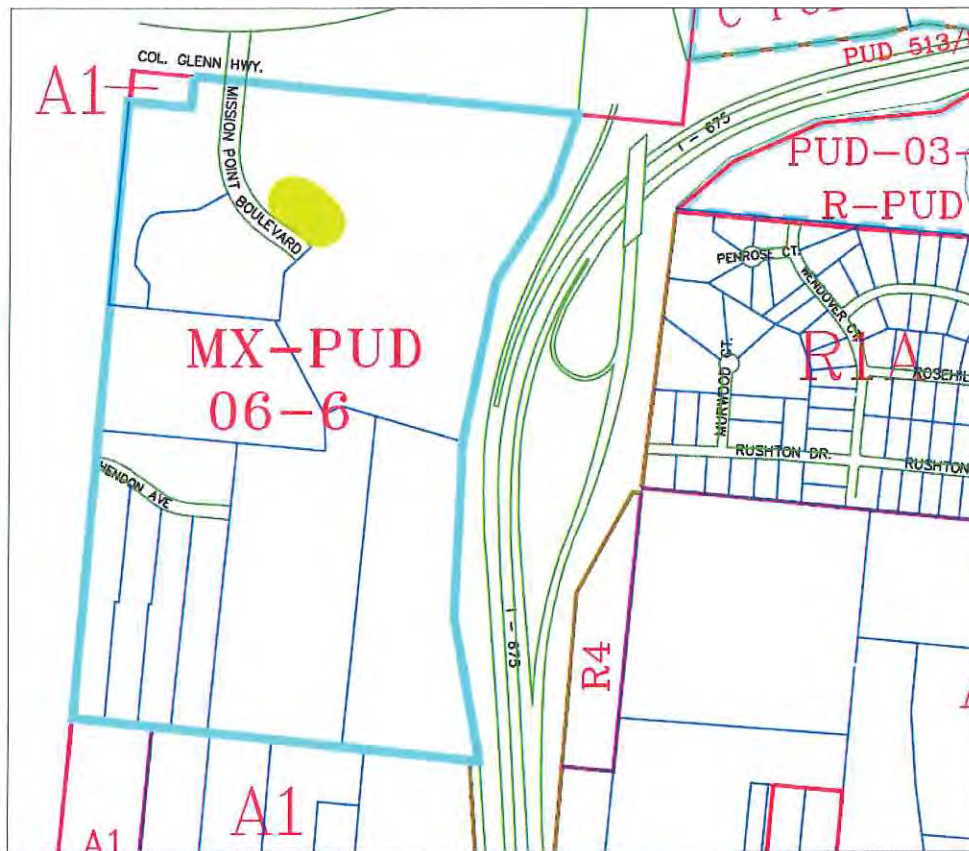
As evident by the aerial photo to the right, the property mostly surrounded by open grassland. The property is mostly flat, and has a small stream that is to the south, just off the 2.9 acre area.



The nearest residential structure is in the City of Riverside, and is approximately 1,170 feet from proposed banquet center building.

ZONING/SURROUNDING USES

The Ordinance associated with this rezoning was approved by City Council in July of 2007 and by Planning Commission in December of 2006. The PUD rezoning allowed for 134.65 acres of development comprised mostly of office uses with hotel, retail and possible residential uses to help support this large scaled office development. More specifically, the PUD calls for a minimum of 70 acres of office development with a maximum of 1,000,000 square feet of office buildings, up to 150,000 square feet of hospitality/hotel uses, a maximum of 50 acres and 300,000 square feet of retail development, and a small residential component along the southwestern portion of the project. Copies of the approved concept plan and approved Ordinance have been included in your packets for your review.



Banquet halls are permitted within O-1 Districts as a conditional use. A separate resolution is included in your packet for approval of the conditional use.

Direction	Zoning	Use
North	Outside City Limits	<i>US Government property, currently vacant</i>
South	MX PUD 06-6	<i>Vacant</i>
East	MX PUD 06-6	<i>Vacant</i>
West	MX PUD 06-6	3-story office building

ANALYSIS

Utilities

Both water and sewer are available to the site.



Architectural Plans

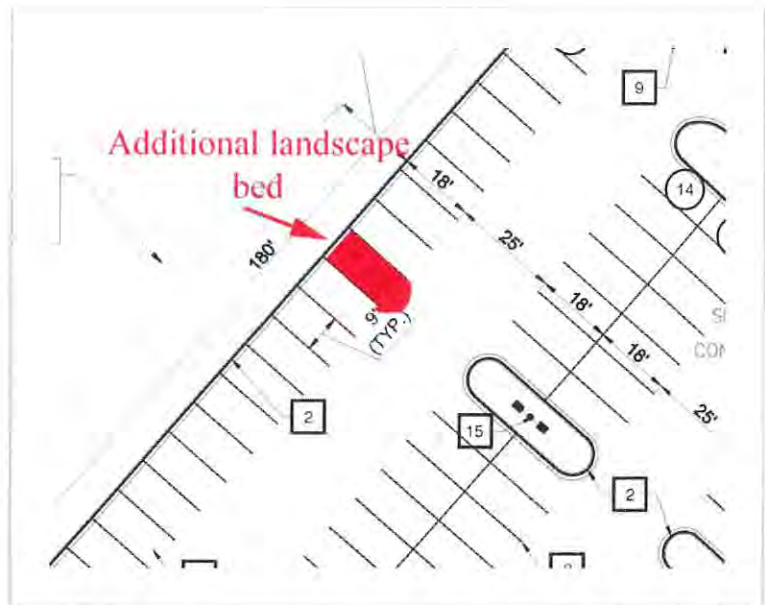
As seen on the architectural plans included in your packet, the applicant has proposed a two-story, 7,520 square-foot, rectangular building. The proposed building is approximately 27 feet to the top of the parapet wall, 89 feet wide and 56 feet deep. The building will be constructed of an assortment of materials to give the building a modern look. The primary material used to construct the elevations will be prefabricated grey concrete panels. All four elevations show wood-look aluminum accent panels between the first and second story windows, while the southeast and northwest elevations have the same wood-look aluminum materials forming a panel that extends the entire height of the building. The western corner and the main entrance of the building, as well as the two entrances on the southeast side of the building will have black painted steel awnings that will be painted to match the black window frames and building trim. Around the main entrance to the building is a welded steel wire mesh accent cage.

Overall, this will be an interesting building, which will be unique to the City, and is only the second one of this design that Noah's Event Venue has done. The other one of this design is currently under construction in Blue Ash, Ohio.

Transportation Improvements and Parking

As seen on the proposed site plan, there is one access point to the site. It will be located off of Mission Point Boulevard, approximately 700 feet south of the intersection of Colonel Glenn Highway. The access point is 26 feet wide.

The Zoning Code requires that dance halls, private clubs, lodges or similar uses have one parking space for every three people, up to the maximum occupancy, plus one for each employee on the largest shift. The applicant has stated the maximum occupancy anticipated for this building will be 250 people, and will have up to four employees. Based on these numbers, they will be required to provide a minimum of 87 parking spaces, and they show 98. ADA requirements for parking lots between 76 and 100 spaces is that at least four spaces are designated handicap accessible, which is what they are proposing.



Staff has added a condition that an additional landscape island be added to the parking lot, along the northwestern most parking area, to break up the large expanse (20 spaces in a row) of pavement.

Stormwater Management

Included in your packet is a preliminary stormwater detention/grading plan. The proposed retention pond (wet pond) will be located on the along the northwest portion of the property. Staff has added a condition that requires approval of the final plan by the Engineering Department, prior to the release of any permit for this site, and that a fountain or other aeration device be installed to prevent water stagnation.

Landscaping

The Zoning Code requires at least 25% of the property be open space or pervious surface for properties zoned as MX-PUDs. This application shows that approximately 65% of the property will remain as pervious surface, well above the minimum.

The landscape plan included in your packet shows the use of shade trees, ornamental trees, evergreen shrubs and various other grasses and shrubs to add to the overall attractiveness of the site. Staff has no concerns regarding the proposed landscaping, other than the addition of the landscape bed as described on the previous page.

Lighting

A preliminary lighting plan has been included in your packet. Staff has added a condition that requires a final photometric plan be reviewed and approved by the Planning Department prior to the issuance of a zoning permit for this development. The preliminary plans call for the use of 20-foot poles mounted on 2.5-foot concrete bases. All light poles will be located outside of the parking fields, in either landscape islands or the perimeter landscape areas of the parking field, and have full-cut off, LED fixtures. The building shows the use of full-cut off, LED wall pack lighting. Further, the conditions require lights in the parking lot be reduced to no greater than 25 percent illumination level within one hour after closing.

Signage

The applicant has proposed one blade sign for this project, which will be 3 feet by 8 feet, or 24 square feet. They have stated that no ground sign is proposed at this time. Staff has added a condition that if, in the future, they want a ground sign, it shall comply with O-1 Zoning standards and be on a base constructed of materials compatible with the building.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached resolutions.



RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
February 6, 2019

RE: PUD 06-6 Noah's Event Venue
SSP #3

WHEREAS, Chris Winkle, agent for the property owner, has filed an application requesting approval of a Specific Site Plan for the construction of a 7,520 square foot banquet hall on 2.878 acres of land located on the east side of Mission Point Boulevard, approximately 700 feet south of Colonel Glenn Highway, further described as Book 1, Page 3, Parcel 2 on the Greene County Property Tax Atlas; and

WHEREAS, public hearing was held on February 6, 2019 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this ASRA Detailed Site Plan application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for an Specific Site Plan as per §158.066 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is recommending approval of this Specific Site Plan to City Council.

NOW, THEREFORE BE IT RESOLVED:

SECTION I

Beavercreek Planning Commission recommends to Beavercreek City Council approval of this Specific Site Plan for the Noah's Event Venue on Mission Point Boulevard, with the following conditions and requirements.

SECTION II

1. The approved site plans for this development shall be the plans stamped "Received January 29, 2019", except as modified herein.
2. The approved architectural plans for this development shall be the plans stamped "Received January 29, 2019", except as modified herein.

3. A detailed landscape plan shall be reviewed and approved by the Planning and Development Department prior to the execution of the required PUD Agreement and the release of any zoning permit for this project.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
5. Any portion of the site disturbed by grading, and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover free of noxious weeds and construction debris and shall be properly maintained.
6. A PUD agreement must be signed by the owner and a bond or letter of credit for the required site landscaping must be submitted prior to the release of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
7. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any future dumpster enclosure shall be constructed of materials to match the building. The final design and location of any future dumpster enclosure shall be reviewed and approved by the Planning and Development Department prior to the issuance of any zoning permits.
8. Wall and/or ground signage shall adhere to the regulations set forth in the Zoning Code for O-1 districts. The final design and location shall be subject to review and approval by the Planning and Development Department prior to a release of a permit for the sign. If constructed, the ground sign shall be set in a base that shall be constructed of materials compatible with the materials that are used to construct the new principal structure, to be reviewed and approved by the Planning and Development Department.
9. Any wall signs shall be individually mounted channel letters, the use of raceways or painting of letters on the wall shall be prohibited.
10. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning and Development Department. No pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be

reduced to no greater than 25 percent illumination level within one hour of closing.

11. The building exterior shall not be painted or altered in any way that varies from the approved elevations unless otherwise approved by the Planning and Development Department or, if required, by the City Council and/or Planning Commission.
12. No portion of the building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by the prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
13. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning and Development Department shall be addressed prior to the issuance of a permit for the project.
14. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls). Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
15. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project. The City reserves the right to require more frequent collection as necessary.
16. A final subdivision for the entire portion of the property encompassing the site plan shall be approved by Planning Commission and recorded with the Greene County Auditor's Office prior to the release of a zoning permit for this project.
17. Prior to release of the record plan for recording, the applicant shall sign a Subdivider's Contract if required by the City Engineer, and submit a bond or letter of credit for all public improvements.
18. An additional landscape island shall be added to the northwestern most row of parking. The final design and location shall be approved by the Planning and Development Department prior to the release of a zoning permit.
19. Fountains and/or other aeration and water circulation devices are required for the retention pond and shall be maintained by the owner of the property in perpetuity.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED: February 6, 2019

VOTING FOR ADOPTION:

VOTING AGAINST:

ABSENT:

Attest:

Chairman

PUD 06-6 SSP#3 Resolution

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
February 6, 2019

RE: PUD 06-6 Noah's Event Venue
SSP #3

WHEREAS, Chris Winkle, agent for the property owner, has filed an application requesting approval of a Specific Site Plan for the construction of a 7,027 square foot banquet hall on 2.878 acres of land located on the east side of Mission Point Boulevard, approximately 700 feet south of Colonel Glenn Highway, further described as Book 1, Page 3, Parcel 2 on the Greene County Property Tax Atlas; and

WHEREAS, public hearing was held on February 6, 2019 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this Conditional Use application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for a Conditional Use approval as per §158.171 (C) of the Zoning Code.

NOW, THEREFORE BE IT RESOLVED the Beavercreek Planning Commission is taking administrative action in approving this Conditional Use.

ADOPTED: February 6, 2019

VOTING FOR ADOPTION:

VOTING AGAINST: None

ABSENT: None

Chairman

Attest:

PUD 06-6 Noah's Event Venue CU Resolution

January 2, 2019

Randy Burkett
City of Beavercreek Planning
1368 Research Park Drive
Beavercreek, OH 45432
Ph: 937-427-5512
E: Burkett@beavercreekoh.gov

Re: NOAH'S Event Venue – Conditional Use Submittal

Project: **NOAH'S Event Venue**
Project Location: **Mission Point Blvd, Beavercreek, OH**

Dear Mr. Burkett:

NOAH'S is pleased to be submitting a review package for the Conditional Use Application consideration. We are under contract to purchase the property at the address above and are proceeding with our governmental approvals for the property. Please find the submittal included with this letter.

Business Concept:

NOAH'S Event Venue is a unique national business concept with several locations across the country. The venue is a combination of a corporate meeting venue, reception venue, and banquet venue. The venue will primarily host corporate meetings during the weekdays and weddings/receptions on Friday evenings and weekends. The building proposed for this project will be 7 500 s.f two-story building divided into several rooms. The first floor will have the main hall, storage/mechanical rooms, women's & men's restrooms, event staging room, café, and lobby. The second floor will have 2 small conference/bride/groom rooms, large meeting room, storage/electrical rooms, and a family restroom.

- **Main Hall** – This room is a larger room that can be used for larger meetings and as the reception area for dining and dancing. The room is flexible to fit the needs of the client and provide them with the desired event feel they are looking for. It is equipped with an adjustable stage that can be raised to allow for a raised platform feel or stay lowered for a dance floor, as examples. This room is two-stories high and can be seen from the second floor area of the building.
- **Large Meeting Room** – There is a large meeting room on the second floor opposite end of the building as the Main Hall. This room will be for larger meetings and can be open to the second floor lobby area by a moving the wall. In a wedding scenario, this room can be setup for the wedding ceremony.
- **Small Conference Rooms** – There are 2 small conference rooms on the second floor opposite end of the building as the Main Hall. These rooms can be used for small private meeting areas separate from the rest of the areas. In a wedding scenario, these rooms transform into the Bride and Grooms rooms.

- Lobby – The lobby is located on the first floor and is open to both sides of the building. This allows for easier entry into the building and give options to direct people to the proper rooms when needed. It also allows a congregating area outside the main rooms for people to carry on conversations outside of the main rooms. The lobby also includes a little café staging area for small food items like coffee, bagels, etc. when the event calls for it.
- Event Staging – The event staging room is used by the caterers to setup the food for presentation to the guest. This room is equipped with a sink for minor cleanup of utensils that might need cleaning but is not used for food prep or major cleaning. Caterers will typically bring in their own food warmers to keep food warm until serving. No food is stored or prepared at the site.
- Hours of Operation –

		Operating	Business	Weddings
Monday	9am-7pm	10 hours	10	
Tuesday	6am-7pm	13 hours	13	
Wednesday	6am-7pm	13 hours	13	
Thursday	9am-7pm	10 hours	10	
Friday	9am-12am	15 hours	5	10
Saturday	9am-12am	15 hours		15
Sunday	Closed			
Total Hours		76 hours	51 hours 67%	25 hours 33%

If you would like more information on Noah's please feel free to look us up on our website at www.noahseventvenue.com

We look forward to meeting with you to discuss this project. Please do not hesitate to contact me at 614-507-6316 or via email at chris.winkle@noahseventvenue.com.

Sincerely,

Chris Winkle

Chris Winkle
V.P. Land Acquisition & Development
Noah's Event Venues
47 Greenfield Drive
Milford Center, OH 43056
Ph: 614-507-6316
Em. chris.winkle@noahseventvenue.com

ORDINANCE NO. 07-1

CITY OF BEAVERCREEK

SPONSORED BY COUNCIL MEMBER Broughton ON
THE 12 TH DAY OF February, 2007.

AN ORDINANCE AMENDING THE ZONING MAP, BY REZONING APPROXIMATELY 134.65 ACRES OF LAND LOCATED ON THE SOUTH SIDE OF COLONEL GLENN HIGHWAY (SOUTH OF THE AIR FORCE PROPERTY) AND WEST OF I-675, FURTHER DESCRIBED AS BOOK 1, PAGE 3, PARCELS 2, 3 AND 4 AND BOOK 1, PAGE 5, PARCELS, 1, 2, 3, 4, 5, 6, 7, 9, 20, 21, 22, 23 AND 24 ON THE PROPERTY TAX MAPS OF GREENE COUNTY, OHIO FROM A-1 AGRICULTURAL DISTRICT AND R-4 MULTI-FAMILY RESIDENTIAL DISTRICT TO MX-PUD, MIXED USE PLANNED UNIT DEVELOPMENT; AND

Whereas, Miller-Valentine of Dayton, Ltd., P. O. Box 744, Dayton OH 45401 has requested the rezoning; and

Whereas, the City of Beavercreek Planning Commission has recommended approval of the rezoning amendment with conditions and requirements; and

Whereas, the City Council finds that the facts submitted with the application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.065 of the Zoning Code; and

Whereas, the City Council finds that, pursuant to §158.073 of the Zoning Code, each and all of the excluded uses are inappropriate for this specific Planned Unit Development; and

WHEREAS, the City Council has voted to adopt the recommendation of the Planning Commission with modifications, this being a decision that requires approval by four members of Council;

NOW THEREFORE THE MUNICIPALITY OF BEAVERCREEK HEREBY ORDAINS:

SECTION I

That the Zoning Map referenced in §158.018 of the Zoning Code is hereby further amended to change approximately 134.65 acres of land located on the south side of Colonel Glenn Highway (south of the Air Force property) and west of I-675 as such land and is more particularly described in Exhibit "A" attached hereto and incorporated herein, from A-1 Agricultural District and R-4 Multi-Family Residential District to MX-PUD, Mixed Use Planned Unit Development District.

SECTION II

1. The concept plan stamped "Received July 3, 2007" is the approved plan and shall be incorporated as part of this rezoning approval superseding the earlier plan, and except as further modified by the following conditions shall be deemed the official concept plan.

2. There shall be no less than 70 acres of office and hospitality development, no more than 30 acres of residential development, and no more than 50 acres for retail use.
3. The area designated for Hospitality on the revised concept plan dated "Received July 3, 2007," shall not be used for any purpose other than for Hospitality development, excepting that area designated as Hospitality, may with the approval of City Council at the Specific Site Plan, after review by the Planning Commission, be used for Office, Research and Development, Institutional purposes.
4. The residential development shall not exceed 30 dwelling units per acre for any portion of land developed as residential and there shall be a minimum number of 20 individual multi-family residential units but in no case shall the total number of individual multi-family residential units exceed 90 units.
5. There shall be a 50-foot buffer along the south property line. There shall be a 50-foot buffer along the west property line where the property abuts residential uses. There shall be a 100-foot building setback from the south property line and a 100-foot building setback for nonresidential uses from residential properties along the west property line.
6. A landscape plan screening the development from adjacent residential properties to the east and north shall be provided and approved by the Planning Commission and City Council at the Specific Site Plan stage of review.
7. The access points and types of access shall be subject to the approval of the City Engineer, Planning Commission, and City Council at the Specific Site Plan stage.
8. The principal permitted uses for the entire PUD shall be those uses included in the O-1 Office Building District, the ORP-1 Office Research Park District, and RP-1 Research Park District, hotels and hospitals or other similar uses not specifically mentioned in the Table of Permitted Uses in the Zoning Code except for the following prohibited uses (further described in the attached "Exhibit B"):
 - Artist, sculptor, and composer studios
 - Church, synagogue, temple and/or places of assembly
 - Civic, social and fraternal association meeting rooms and offices
 - Security guards-live on premises
 - Veterinary clinic or kennels and animal hospital
9. The additional principal permitted uses for the retail portion of the PUD located at the northwest corner of the PUD, shall be those uses within the B-3 General Business District with the following uses being prohibited (further described in the attached "Exhibit C"):
 - Antiques and secondhand merchandise stores
 - Artist, sculptor, and composer studios
 - Auditoriums
 - Automobile parking garages and lots (commercial)
 - Automobile parts and accessories (retail)
 - Automobile repair services and service stations
 - Automobile and truck sales and service (new and used)
 - Automobile and truck rental service
 - Bicycle sales (retail) rental and repair
 - Billiard rooms

- Bowling alleys
- Building entry systems
- Canvas, tent and awning sales and service
- Carry outs- beer, wine, and party supply
- Cigars, cigarette, and tobacco stores (retail)
- China and glassware stores (retail)
- Church, synagogue, temple and/or places of assembly
- Crematory service
- Dance halls
- Drapery stores
- Dressmaking, seamstress
- Dry-clean operating (retail) utilizing machinery on site not requiring cooling towers and external venting
- Electrical appliance repair services
- Electrical appliances and supplies (retail)
- Equipment rental and leasing service
- Exterminating services
- Funeral services
- Furriers and fur apparel sales repair and storage
- Garden stores, garden centers (retail)
- Glass stores
- Heating, air conditioning and plumbing stores (retail)
- Heating, air conditioning and plumbing service and repair
- Ice skating (indoor)
- Janitorial services
- Laundry and dry-cleaning self-service (coin op)
- Lawn mower sales, service and repair
- Legitimate theatre
- Locksmith
- Mail order catalogue stores (retail)
- Motion picture theatres (indoor)
- Paint and wallpaper stores
- Pawn shops
- Roller skating rinks
- Security guards-live on premises
- Taxidermist services
- Towing service
- Trading stamp stores
- Trailer sales, services and rental
- Truck rental service
- Veterinarians with kennels (non-boarding)
- Wig Shops
- Welfare and charitable services

10. All buildings and structures shall incorporate four-sided architecture with no apparent rear of any building subject to the approval of the Planning Commission and City Council at the Specific Site Plan Stage.

SECTION III

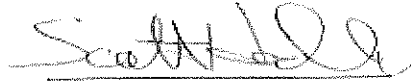
This Ordinance shall take effect from and after the earliest period allowed by law.

SECTION IV

It is hereby found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that any and all deliberations of this Council and any of

its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements, including, but not limited to Section 121.22 of the Ohio Revised Code.

PASSED this 23 day of July, 2007


Mayor

ATTEST:


Clerk of Council

SUMMARY

This Ordinance adopts a recommendation to rezone approximately 134.65 acres of land located on the south side of Colonel Glenn Highway (south of the Air Force property) and west of I-675 as such land and is more particularly described in Exhibit "A" attached hereto and incorporated herein, from A-1 Agricultural District and R-4 Multi-Family Residential District to MX-PUD, Mixed Use Planned Unit Development District.

This is not an emergency ordinance and will become effective 30 days after passage.

PUD 06-6 Col. Glenn Land Dev Ordinance



POTENTIAL TRAFFIC FLOW

Exhibit A



PARCEL 1:

TRACT 1:

Situate in the Township of Beavercreek, now known as the city of Beavercreek, in the County of Greene and State of Ohio and being more particularly described as follows: Lots numbered 1, 2, 3, 4 and 5 of the Edgewater plat as recorded in Volume 13, Page 67 and 68, now known as Plat Cabinet 33, pages 198B and 199A, of the plat records of Greene County, Ohio.

TRACT 2:

Situate in NW $\frac{1}{4}$ of Section 10 and SW $\frac{1}{4}$ of Section 11, Town 2, Range 7 MRS, Beavercreek Township, now known as the City of Beavercreek, Greene County, Ohio, and being more particularly described as follows: Beginning at a point in the south line of the Clarence H. Gerlaugh 77.04 acre tract said point also being the northeast corner of the 22.000 acre tract as recorded in Book 336, page 68 of the Greene County records; thence from said point of beginning with the south line of said Gerlaugh tract on the following bearings and courses: S $86^{\circ}35'$ E. a distance of 423.80 feet to a point; N $8^{\circ}05'$ W a distance of 174.60 feet to a point; N $78^{\circ}45'$ E. a distance of 98.00 feet to a point; S $78^{\circ}45'$ E. a distance of 171.85 feet to a point; thence leaving said Gerlaugh tract, S $3^{\circ}10'$ W a distance of 1558.73 feet to a point in the north line of the Nellie Shellabarger 16.55 acre tract; thence N $88^{\circ}15'$ W a distance of 655.00 feet to the southeast corner of the said 22.000 acre tract, thence N $3^{\circ}10'$ E with the east line of said 22.000 acre tract, a distance of 1405.30 feet to the place of beginning, containing 22.034 acres more or less.

TRACT 3:

Situate in NW $\frac{1}{4}$ of section 10 and SW $\frac{1}{4}$ of section 11, Town 2, Range 7 MRS, Beavercreek Township, now known as the City of Beavercreek, Greene County, Ohio and being more particularly described as follows: Beginning at a point in the south line of the Clarence H. Gerlaugh 77.04 acre tract said point also being the northeast corner of the 22.034 acre tract as recorded in Volume 379, page 426 of the Greene County deed records; thence from said point of beginning $78^{\circ}45'$ E with the south line of said Gerlaugh tract a distance of 643.00 feet to a point; thence S $3^{\circ}10'$ W a distance of 1452.57 feet to a point in the north line of the Clifford A. and Mary E. Wolfe 28.85 acre tract; thence N. $88^{\circ}15'$ W a distance of 636.81 feet to the southeast corner of the said 22.034 acre tract; thence N $3^{\circ}10'$ E with the east line of said tract a distance of 1558.73 feet to the place of beginning, containing 22.004 acres more or less.



PARCEL I:

Situate in Beavercreek Township, Greene County, Ohio, being part of Section II, Town 2, Range 7, and being part of 77.04 acres conveyed to Clarence Gerlaugh by deed recorded in Deed Book 267, Page 592, and part of 22 acres conveyed to Clarence Gerlaugh by deed recorded in Deed Book 171 Page 512 of the deed records of Greene County, and being more particularly described as follows:

Beginning at an iron pin found in the half section line of Section 10, T2, R7, and 14.00 feet South of a stone in the line between sections 10 and 11, Thence N 75°51'37" @896.03 feet to an iron pin set and the True Place of Beginning; Thence N 75°51'37" W 603.66 feet to a post set in concrete; Thence S 79°56'16" W 96.00 feet to a post set in concrete; Thence N 28°55'13" W 452.57 feet to an iron pin found; Thence N 3°10'00" E 1167.28 feet to an iron pin found in the South line of lands of The United States of America; Thence with said South line S 86°53'11" E 1335.55 feet to an iron pin set; Thence S 15°55'02" W 374.06 feet to an iron pin set; Thence S 31°34'38" W 510.69 feet to an iron pin set; Thence S 8°51'21" W 816.94 feet to the True Place of Beginning containing 38.2604 acres more or less.

PARCEL II:

Situated in Section II, Town 2, Range 7, Beavercreek Township, Greene County, Ohio and being part of the 34.699 acre tract conveyed to Real Estate Investors Land Corporation by a warranty deed recorded in Volume 486. Page 783 of the deed records of Greene County, Ohio, and being more particularly described as follows:

Beginning at an iron pin at the grantor's Northwest corner, said point being on the Greene-Montgomery County line and also on the East line of a tract of land belonging to Norman F. and Marjorie L. Cole as recorded in Book 1260, Page 167 of the Montgomery County deed records; Thence from said point of beginning South 86°48'35" East a distance of 450.00 feet to a point; Thence South 3°10'00" West with West Right of Way line of a proposed 60 feet road a distance of 500.00 feet to a point; Thence North 86°48'35" West, a distance of 450.00 feet to a point, said point being on the West line of grantor's land and on the Greene-Montgomery County line, and also on the East line of the Page Manor Plat as recorded in Plat Book KK, Page 43 of the Montgomery County records;

Thence North 3°10'00" East a distance of 500.00 feet to the Place of Beginning, containing 5.165 acres, more or less.

Excepting therefrom the following:

Located In Section II, Town 2, Rang 7, MRS, City of Beavercreek, County of Greene, State of Ohio, and being more particularly described as follows:

Beginning at a concrete monument with a brass disk stamped "1941 USAF-COE" found in the West line of said Section II, in the line between Montgomery County and Greene County, in the North corporation line of the City of Beavercreek, Ohio, at the grantors' Northwest corner, and at the Southwest corner of land conveyed to The United States of America in the condemnation proceedings, Civil Action No. 97 (at Dayton) in the district court of The United States in and for the Southern District Ohio, said point of beginning being located South 05°15'22" West for a distance of 225.05 feet from a concrete monument with a brass disk stamped "1941 USAF-COE 819.48" found at the intersection of the West line of said United States of America land and said county line with the South right-of-way line of Colonel Glenn Highway;



Thence with the grantors' North line, the South line of said United States of America Land and and said corporation line, South 84°33'27" East for a distance of 300.00 feet to an iron pin set;

Thence with a new division line through the Grantors' land for the following two (2) courses, South 05°25'28" West for a distance of 150.00 feet to an iron pin set;

Thence North 84°33'27" West for a distance of 300.00 feet to an iron pin set in the grantors' West line, the West line of said section II, and said county line;

Thence with the grantors' West line of said section II, and said county line, North 05°24'28" East for a distance of 150.00 feet to the point of beginning containing 1.033 acres, more or less.

The above description was prepared from the results of a field survey made by Mithell W. Cosler, Ohio Registered Surveyor No. 6393, in 1998. Iron pins referred to as set are 0.63 inches diameter steel thirty (30) inches in length with a yellow plastic cap stamped "COSLER 6393", to be set flush with the round, unless otherwise described. Bearings used are based on NAD-83 coordinate values used for the "Greene County Horizontal Control Network" and county gps mapping.

PARCEL III:

Situate in Section II, Town 2, Range 6 MRS, Beavercreek City, Greene County, Ohio and being part of the 34.699 acre tract of land conveyed to Real Estate Investors Land Corp. as recorded in Volume 486, Page 783 of the deed records of Greene County, Ohio and Being a tract of land more particularly as follows:

Starting at a point in the Greene County-Montgomery County line, said point also being the Southeast corner of said Section II, Thence N 3°10'00" E a distance of 26.10 feet to the true place of beginning of this description;

Thence from said True Place of Beginning N 3°10'00" E with said county line and section line a distance of 1217.38 feet to a point; Thence S 86°48'35" E a distance of 450.00 feet to a point on the West Right-of-Way line of a proposed 60 feet wide right-of-way; Thence n 3°10'00" E with the line of said proposed right-of-way distance of 500.00 feet to a point on the South line of lands of The United States of America; Thence S 86°48'26" E with the South line of said land of The United States of America a distance of 377.15 feet to a point; Thence S 3°10'00" W a distance of 1167.28 feet to a point; Thence S 28°55'13" E a distance of 452.46 feet to a point; Thence S 7°58'04" E a distance of 173.95 feet to a point; Thence N 86°36'34" W a distance of 1101.10 feet to the Place of Beginning containing 29.534 acres more or less.

Also knows as 34.6988 acres excepting 5.165 acres.

Exhibit B
Proposed Uses for Entire Park

~~Excluded Language or Prohibited Uses~~

O-1 Office Building District

~~Artist, sculptor and composer studios~~

Banquet halls (Conditional Use)

~~Church, synagogue, temple and/or places of assembly~~

Dental services

Dental laboratory services

Medical clinics- outpatient services

Medical laboratory services

Newspaper, magazine and book stores-retail

Nursery school/day care centers in accordance with 158.127 (Conditional Use)

Offices are as follows:

Accounting, auditing and bookkeeping services

Advertising services

Audio and visual communication services and banking services

Business associates

~~Civic, social and fraternal associations meeting rooms and offices~~

Commodity brokers and security

Credit reporting, adjustment and collection service

Computer services or data processing facilities

Detective and protective services

Duplicating, mailing and stenographic services

Educational and scientific research services

Employment services

Engineering and architectural services

Engineering research and prototype development associated with offices

Executive, administrative and similar enterprises

Financial holding and investment services

Insurance carriers, agent broker and services

Labor unions and similar labor organizations (excluding hiring halls)

Legal Services

Other professional services NEC

Security and commodity brokers

Stenographic, clerical and answering services

Professional and membership organizations

Real estate and related services

Office supply stores

Optical services and sales

Physician services

Public buildings including community center buildings and libraries

Restaurants-inside service only

Schools are as follows:

Business, stenographic, correspondence and typing (Conditional Use)

Technical training schools (Conditional Use)

Travel bureaus and ticket sales

~~Security Guards, live-on-premises (Conditional Use)~~

~~Veterinary clinic or kennels, animal hospitals, provided that all animals are housed in buildings or enclosures which are at least 500 feet from any "R" district (Conditional Use)~~

Welfare and charitable services

Other professional services-not elsewhere classified

ORP-1 Office Research park District

Medical research laboratories

Medical laboratory services

Nursery school/day care centers in accordance with 158.127 (Conditional Use)

Offices are as follows:

Accounting, auditing and bookkeeping services

Advertising services

Audio and visual communication services and banking services

Business associates, civic, social and fraternal association offices only

Commodity brokers and security

Credit reporting, adjustment and collection service

Computer services or data processing facilities

Conference center services

Corporate insurance carriers, home or regional offices, excluding drive-in claims service

Duplicating, mailing and stenographic services

Educational and scientific research services

Employment services

Engineering and architectural services

Engineering research and prototype development facilities, and related accessory manufacturing

Executive, administrative and similar enterprises

Financial holding and investment services

Legal Services

Professional services

Real estate and related services

Security and commodity brokers

Stenographic, clerical and answering services

Research and engineering laboratories

Restaurants-inside service only (Conditional Use)

Schools are as follows:

Technical training schools ~~(Conditional Use)~~
Travel bureaus and ticket sales
~~Security Guards, live-on-premises (Conditional Use)~~
Other professional services-not elsewhere classified ~~(Conditional Use)~~

RP-1 Research Park District

Heliport landing areas accessory to permitted use (Conditional Use)
Medical research laboratories
Medical laboratory services
Nursery school/day care centers in accordance with 158.127 (Conditional Use)
Offices are as follows:
Accounting, auditing and bookkeeping services
Advertising services
Audio and visual communication services and banking services
Business associates, civic, social and fraternal association offices only
Commodity brokers and security ~~(Conditional Use)~~
Computer services or data processing facilities
Conference center services
Corporate insurance carriers, home or regional offices, excluding drive-in claims service

Duplicating, mailing and stenographic services
Educational and scientific research services
Employment services
Engineering and architectural services
Engineering research and prototype development facilities, and related accessory manufacturing

Executive, administrative and similar enterprises
Financial holding and investment services
Professional services
Real estate and related services
Security and commodity brokers ~~(Conditional Use)~~
Stenographic, clerical and answering services
Research and engineering laboratories
Restaurants-inside service only ~~(Conditional Use)~~
Schools are as follows:
Technical training schools ~~(Conditional Use)~~
Travel bureaus and ticket sales
~~Security Guards, live-on-premises (Conditional Use)~~
Other professional services-not elsewhere classified ~~(Conditional Use)~~

Exhibit C
Proposed Uses for Retail/Service Area

~~Excluded Language or Prohibited Uses~~

B-3 General Business District

~~Antiques and secondhand merchandise stores~~

Art and school supply stores

Art galleries

~~Artist, sculptor and composer studios~~

~~Auditoriums~~

Automobile wash facilities (Conditional Use)

~~Automobile parking garages and lots (commercial)~~

~~Automobile parts and accessories (retail)~~

~~Automobile repair services and service stations (Conditional Use)~~

~~Automobile and truck sales and service (new and used) (Conditional Use)~~

Automobile service station (gas, lubricant, coolants, and accessories only)

~~Automobile and truck rental service (Conditional Use)~~

Bakery and donut shops (retail)

Banking and bank related functions

Banquet halls (Conditional Use)

Barber and beauty service

~~Bicycle sales (retail), rental and repair~~

~~Billiard rooms~~

~~Bowling alleys~~

~~Building Entry Systems~~

Business machine, sales and service

~~Canvas, tent and awning sales and service~~

~~Carry-outs—beer, wine and party supply~~

Catering service

~~Cigars, cigarette and tobacco stores (retail)~~

~~China and glassware stores-retail~~

~~Church-synagogue, temple and/or places of assembly (Conditional Use)~~

Clothing, apparel and accessory stores

Computers: sale and service of new and used desktop and lap top computers, components, software and peripherals

~~Crematory service~~

~~Dance halls~~

Delicatessen

Dental services

Dental laboratory services

Department stores, including discount stores

~~Drapery stores~~

~~Dressmaking, seamstress~~

Drug stores

Dry-cleaning and laundry (pick-up stations)

~~Dry-cleaning-operating (retail)-utilizing-machinery-on-site-not-requiring-cooling-towers
and-external-venting~~

~~Electrical-appliance-repair-services~~

~~Electrical-appliances-and-supplies-retail~~

~~Equipment-rental-and-leasing-service-(except-automobile-trucks-and-trailers)~~

~~Exterminating-services~~

Floor covering stores

Florist-retail

~~Funeral-Services~~

Furniture, home furnishings and equipment-retail

~~Furriers-and-fur-apparel-sales,-repair-and-storage~~

~~Garden-stores,-garden-centers-retail~~

~~Glass-stores~~

Gifts, novelties, greeting cards and stationery stores

Grocery stores-convenience

Grocery stores-including specialty stores such as meat, candy, dairy, and the like

Gymnasiums and athletic clubs

Handyman do-it-yourself centers

Hardware stores

Health studios

Health studios-inside activity only

~~Heating,-air-conditioning-and-plumbing-stores-retail~~

~~Heating,-air-conditioning-and-plumbing-service-and-repair-(excluding-well-drilling)~~

Hobby Shops

Hospitals

Hotels, motels (Conditional Use)

Household appliances stores-retail

Household appliance repair services

~~Ice-skating-(indoor)~~

Interior decorating stores and services

~~Janitorial-services~~

Jewelry stores-retail

~~Laundry-and-dry-cleaning-self-service-(coin-op)~~

~~Lawn-mower-sales,-service-and-repair~~

~~Legitimate-theater~~

~~Locksmith~~

~~Mail-order-catalogue-stores-retail~~

Medical clinics- outpatient services

Medical laboratory services

~~Motion-picture-theaters-(indoor)~~

Music, musical instrument stores-retail

Newspaper, magazine and book stores-retail

Nursery school/day care centers in accordance with 158.127 (Conditional Use)

Offices are as follows:

- Accounting, auditing and bookkeeping services*
- Advertising services*
- Business associates*
- Civic, social and fraternal associations meeting rooms and offices*
- Credit reporting, adjustment and collection service*
- Detective and protective services*
- Duplicating, mailing and stenographic services*
- Educational and scientific research services*
- Employment services*
- Engineering and architectural services*
- Engineering research and prototype development associated with offices*
- Executive, administrative and similar enterprises*
- Financial holding and investment services*
- Insurance carriers, agent broker and services*
- Labor unions and similar labor organizations (excluding hiring halls)*
- Legal Services*
- Other professional services NEC*
- Security and commodity brokers*
- Professional and membership organizations*
- Real estate and related services*

Office furniture stores-retail

Office supply stores

Optical services and sales

~~*Paint and wallpaper stores*~~

~~*Pawn shops*~~

Pet sale and supply stores

Photographic supplies, services and studios

Physician services

Printing services

Public buildings including community center buildings and libraries

Restaurants-inside service only

~~*Roller skating rinks*~~

Savings and loan

Schools are as follows:

Art and music schools

Barber and beauty

Business, stenographic, correspondence and typing

Dancing

Driver training

~~*Security guards-live on premises (Conditional Use)*~~

Shoe repair, shoe shining and hat cleaning services

Shoe stores

Sporting goods stores-retail

Tailor shops

~~*Taxidermist services*~~

~~Towing service (Conditional Use)~~

~~Trading stamp stores~~

~~Trailer sales, services and rental (Conditional Use)~~

Travel bureaus and ticket sales

~~Truck rental service (Conditional Use)~~

Variety stores-retail

~~Veterinarians with kennels (non-boarding) (Conditional Use)~~

Watch, clock and jewelry repair services

~~Wig shops~~

~~Welfare and charitable services~~

SITE DATA

SITE ADDRESS:

MISSION POINT BLVD., BEAVERCREEK OHIO

OWNER:

COLONEL GLENN LAND DEVELOPMENT
2801 COL. GLEN HWY
P.O. BOX 744
DAYTON OH 45401

PARCEL:

B42000100030000200

SITE:

CURRENT PARCEL: 54,989 AC.
PROPOSED PROPERTY = 3.16 AC.

BUILDING:

PROVIDED: BLDG HEIGHT 32'
BLDG AREA:
FIRST FLOOR = 4,984 SF
SECOND FLOOR = 2,520 SF
TOTAL = 7,504 SF

PROPOSED USE:

EVENT VENUE

PARKING:

CODE: 1 SPACE PER 3 PATRONS

REQUIRED: 250 PATRAN CAPACITY / 3 = 84 SPACES TOTAL

PROVIDED:
95 STANDARD 9' x 18' PARKING SPACES
4 ACCESSIBLE SPACES
TOTAL = 99

CURRENT ZONING:

MX - PUD - 06-6

SETBACKS:

BUILDINGS
FRONT: 50'
REAR: 35'
SIDE: 20'

PARKING
FRONT: 10'
REAR: 15'
SIDE: 20'

LOT COVERAGE:

CODE: 85% MAX
PROVIDED: 45% (IMPERVIOUS)
55% (PERVIOUS)

PROJECT

NOAH'S
EVENT VENUE

SITE ADDRESS:

MISSION POINT BLVD.

NOAH'S EVENT VENUE
770 E MAIN ST #255
LEHI, UT 84043

PROJECT CONTACT: CHRIS WINKLE
E: CHRIS.WINKLE@NOAHSEVENTVENUE.COM
P: 614-507-6316

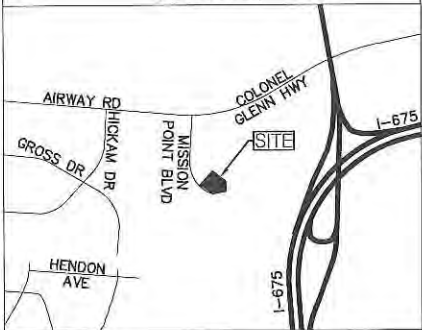
CIVIL ENGINEER

brack
engineering

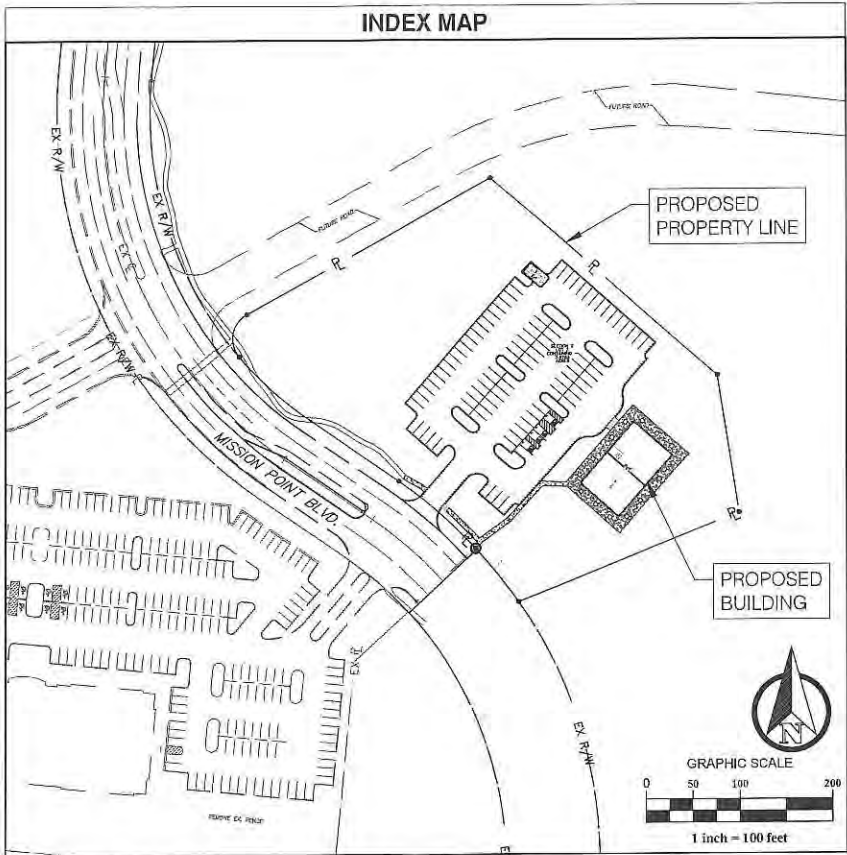
BRACK ENGINEERING, LLC
5659 GREYSTONE LN
HILLIARD, OH 43026

PROJECT CONTACT:
NATHAN HARRINGTON
E: NHARRINGTON@BRACKENG.COM
P: 614-506-3662

VICINITY MAP
(NOT TO SCALE)



INDEX MAP



DEVELOPMENT CONTACTS

PLANNING & ZONING

CITY OF BEAVERCREEK
ZONING DEPARTMENT
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
CONTACT: TBD

PHONE: 937-427-5512

TELEPHONE

TW TELECOM INC.
1 S MAIN ST.
DAYTON, OH 45402
CONTACT: TBD

PHONE: 937-228-0165

STORM WATER

CITY OF BEAVERCREEK
ENGINEERING DEPARTMENT
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
CONTACT: TBD

PHONE: 937-427-5513

BUILDING

CITY OF BEAVERCREEK
FIRE DEPARTMENT
1368 RESEARCH PARK DR.
BEAVERCREEK, OH 45432
CONTACT: TBD

PHONE: 937-427-5512

ELECTRIC

DAYTON POWER AND LIGHT
1085 WOODMAN RD.
DAYTON, OH 45432
CONTACT: TBD

PHONE: 937-331-4791

SANITARY SEWER

GREEN COUNTY SANITARY ENG.
867 DAYTON XENIA RD
BEAVERCREEK, OH 45385
CONTACT: TBD

PHONE: 937-562-7450

FIRE

BEAVERCREEK TWP
FIRE DEPARTMENT
851 N. ORCHARD LANE, SUITE A
BEAVERCREEK, OH 45434
CONTACT: TBD

PHONE: 937-426-1213

NATURAL GAS

VECTREN OF OHIO
1335 E. DYTIN YLW SPGS RD
FAIRBORN, OH 45924
CONTACT: TBD

PHONE: 1-800-227-1376

WATER

GREEN COUNTY SANITARY ENG.
867 DAYTON XENIA RD
BEAVERCREEK, OH 45385
CONTACT: TBD

PHONE: 937-562-7450

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SHEET INDEX

SHEET NUMBER	SHEET TITLE	REVISION NUMBER	REVISION DATE
CIVIL PLANS			
C000	CIVIL TITLE SHEET		
C100	SITE PLAN		
C101	CIVIL NOTES		
C200	GRADING & DRAINAGE PLAN		
C201	STORM PROFILES		
C202	BLDG DIMENSION & GRADING PLAN		
C203	DRIVEWAY PLAN		
C300	SEDIMENT & EROSION CONTROL PLAN		
C301	EROSION CONTROL NOTES		
C302	EROSION CONTROL DETAILS		
C400	UTILITY PLAN		
C401	PHOTOMETRIC PLAN		
C500	SITE DETAILS		
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L1	LANDSCAPE PLAN		
ARCHITECTURAL PLANS			
AE101	FLOOR PLAN - MAIN LEVEL		
AE102	FLOOR PLAN - SECOND LEVEL		
AE201	EXTERIOR ELEVATIONS		
AE202	EXTERIOR ELEVATIONS		
AS501	ARCHITECTURAL SITE DETAILS		

SUBMITTALS		ISSUE DATE
1	PLANNING SUBMITTAL	1/1/2019
2	PLANNING RESUBMITTAL	1/29/2019

NOTE TO ALL CONTRACTORS

THE INFORMATION CONTAINED WITHIN THESE CIVIL DOCUMENTS DENOTE SITE RELATED IMPROVEMENTS WHICH CONTAIN ARCHITECTURAL STRUCTURES INCLUDING THE TRASH ENCLOSURE, THE PATIO GARDEN WALLS AND INSET PLANTER BOXES. CONSTRUCTION DETAILS OF THESE ELEMENTS INCLUDE THE INFLUENCE OF MULTIPLE DISCIPLINES AND ARE CONTAINED IN PLANS FROM EACH. SEE ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETE CONSTRUCTION OF THESE ELEMENTS AND ACCOUNTABLE INCLUSION OF DETAILED INFORMATION AS NOTED ABOVE.

CIVIL TITLE SHEET

NOAH'S EVENT VENUE

MISSION POINT BLVD., BEAVERCREEK OH 45431

REVISIONS

NO. DATE

DATE:
01/28/2019
JOB NO.: 1816
DESIGN: NBH
CHECKED: NBH

SHEET NO.

C000

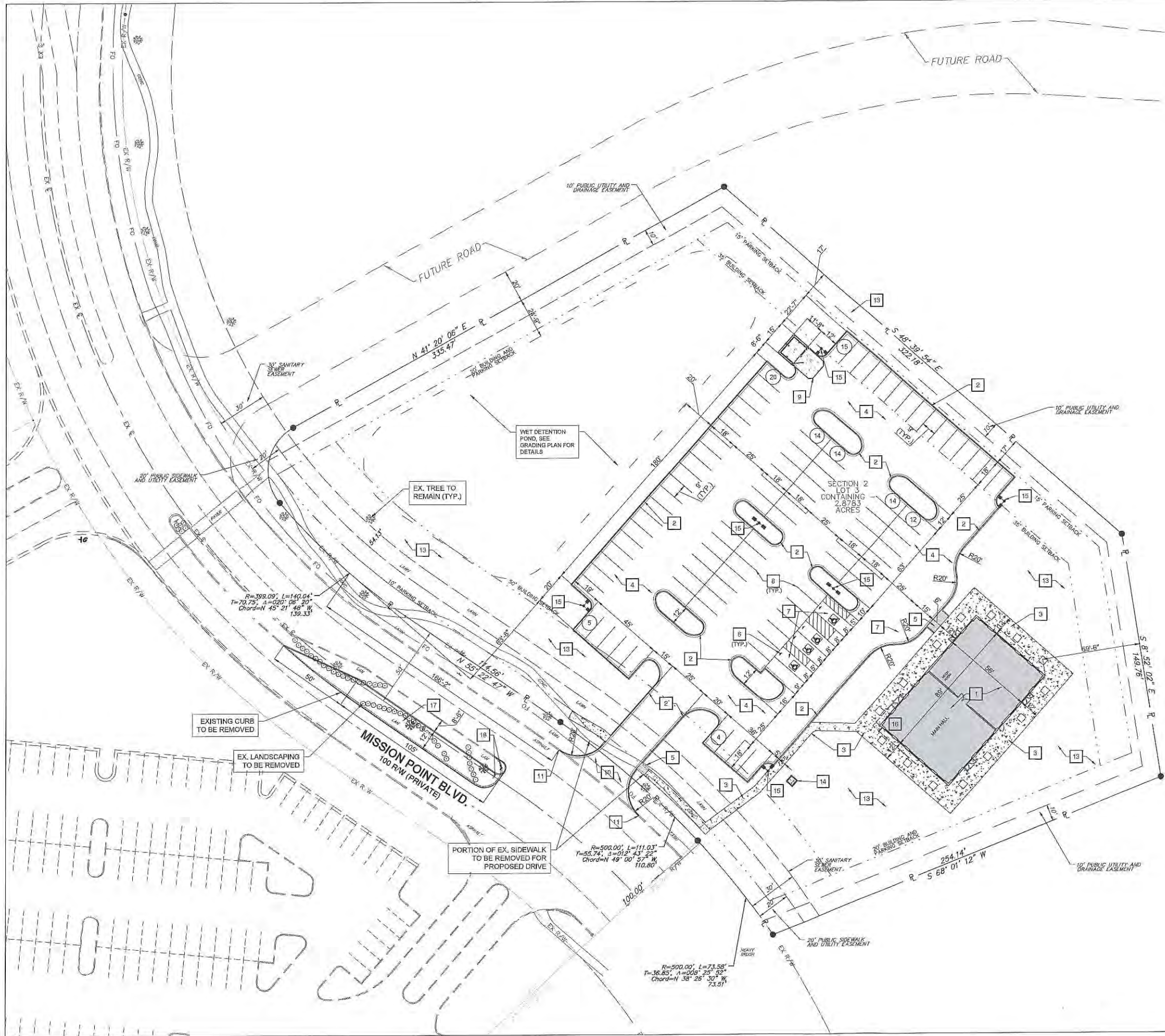
FLOODPLAIN DATA

BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY MAP NO. 3905700015D WITH AN EFFECTIVE DATE OF MARCH 17, 2011 IN GREENE COUNTY, OHIO. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OF APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.



SPECIAL NOTE

CHANGES MADE TO THE DESIGN IDENTIFIED ON THESE DRAWINGS AND/OR ASSOCIATED SPECIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT OF RECORD FOR REVIEW AND APPROVAL AND IS SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER PRIOR TO MAKING ANY MODIFICATIONS TO THE PROJECT. ANY DESIGN MODIFICATIONS, AS WELL AS ANY COSTS ASSOCIATED WITH SUCH MODIFICATIONS, MADE WITHOUT THE ENGINEER OF RECORD'S WRITTEN APPROVAL SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

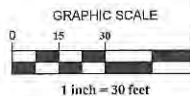


SITE NOTES

- A ACCESSIBLE PARKING SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- B THE BUILDING IS PARALLEL AND/OR PERPENDICULAR TO PROPOSED PROPERTY LINE S 48°39' 54" E.
- C ALL RADII ARE 5.0' OR HALF THE ISLAND WIDTH UNLESS OTHERWISE NOTED.
- D ALL DIMENSIONS ARE TO FACE OF CURB AND BUILDING EDGE OF SLAB UNLESS OTHERWISE NOTED.
- E ALL SIGNAGE SHALL COMPLY WITH LOCAL REQUIREMENTS. VERIFY STYLE WITH OWNER'S REPRESENTATIVE.

KEYED NOTES

- 1 PROPOSED BUILDING, SEE ARCHITECTURAL PLANS FOR SHEET FOR DETAILS.
- 2 SITE CONCRETE CURB AND GUTTER, SEE DETAIL ON SHEET C500.
- 3 CONCRETE SIDEWALK, SEE DETAIL ON SHEET C500.
- 4 ASPHALTIC PAVING, SEE PAVEMENT SECTION ON SHEET C500.
- 5 ACCESSIBLE CURB RAMP, SEE DETAIL ON SHEET C500.
- 6 PROVIDE POSTS FOR HANDICAP PARKING SIGNS; SIGNAGE SHALL MEET ALL LOCAL REQUIREMENTS, SEE DETAIL SHEET C500.
- 7 AREA SHALL MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS, SEE GRADING PLAN FOR TOP AND BOTTOM CURB ELEVATIONS.
- 8 ALKYD-READY MIX (YELLOW) PAVEMENT STRIPING PER DOT SPECIFICATIONS.
- 9 REINFORCED CONCRETE PAVING AND TURN DOWN EDGE, SEE DETAIL ON SHEET C500.
- 10 COMMERCIAL APPROACH WITH DROP CURB AND GUTTER PER CITY OF BEAVERCREEK REQUIREMENTS, SEE SHEET C203 FOR DETAILED PLAN.
- 11 TAPER LAST 10' OF 8" CONCRETE CURB FROM TYPICAL CURB DETAIL TO MEET AND MATCH CONFIGURATION AND ELEVATION OF ADJOINING CURB OR PAVEMENT.
- 12 TRASH ENCLOSURE SHALL MATCH BUILDING MATERIALS AND WITH SPRING LOADED GATES, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 13 LANDSCAPING OR LAWN AREA, SEE LANDSCAPING PLAN.
- 14 CONCRETE TRANSFORMER PAD PER LOCAL UTILITY COMPANY SPECIFICATIONS.
- 15 SITE LIGHT, STANDARD NOAH'S SPAULDING LED FIXTURE, SEE SHEET PHOTOMETRIC PLAN.
- 16 MAILBOX PER OWNER REPRESENTATIVE.
- 17 LEFT TURN LANE TO BE INSTALLED, SEE TYPICAL SECTION ON SHEET C501.
- 18 EXISTING ROAD SIGN TO BE RELOCATED.



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SITE PLAN

NOAH'S EVENT VENUE

MISSION POINT BLVD., BEAVERCREEK OH 45431

REVISIONS
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C100



STORM SYSTEM NOTES

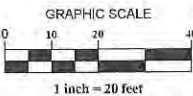
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY SIZES, TYPES, AND LOCATIONS SHOWN ON PLANS. ALL UTILITY WORK SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS, THESE PLANS AND OR GOVERNING REGULATIONS.
- ALL HDPE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M 294 AND MP7-97, SUCH AS ADS N-12 SMOOTH WALL HDPE OR APPROVED EQUIVALENT. ALL DRAINAGE PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED ON PLANS.
- ALL HDPE PIPE SHALL POSSESS MALE AND FEMALE ENDS TO ALLOW OVERLAPPING GASKETED PIPE JOINTS PER AASHTO M294. GASKET MATERIAL SHALL CONFORM TO ASTM F 477. ALL HDPE PIPE SHALL BE CLEARLY MARKED WITH THE FOLLOWING: MANUFACTURERS NAME, NOMINAL PIPE SIZE, AND PRODUCT/ EXTRUSION CODE.
- ALL PIPE LENGTHS ARE APPROXIMATE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- GENERAL CONTRACTOR TO MAINTAIN STORM SEWER WATER DRAINAGE THROUGH ENTIRE CONSTRUCTION PROCESS.
- INVERTS INDICATED ON THE PLAN REGARDING THE INVERT REFERS TO THE CENTER INVERT OF THE STRUCTURE. THE CONTRACTOR SHALL ENSURE THAT A SLOPE IS PROVIDED WITHIN THE STRUCTURE TO PROMOTE POSITIVE DRAINAGE FROM THE INLET(S) TO THE OUTLET(S) OF THE STRUCTURE.
- FINGER DRAINS ARE TO BE INSTALLED ON ALL CURB INLETS.

STORM STRUCTURE TABLE

ID NO.	DESCRIPTION:	NORTHING:	EASTING:	RIM:	INVERTS:
1	HEADWALL (ODOT HW-1.1)	648134.41	1519715.42	831.55	12" SE INV. 830.00
2	MANHOLE / OUTLET STRUCTURE (ODOT MH #3)	648108.73	1519730.93	835.00	12" NW INV. 830.30 12" SE INV. 829.50
3	HEADWALL (ODOT HW-1.1)	648098.75	1519750.77	830.55	12" NW INV. 829.00
4	HEADWALL (ODOT HW-1.1)	648170.21	1519934.31	838.55	12" SE INV. 835.00
5	CATCH BASIN (ODOT CB-2-3)	648152.38	1519954.94	841.04	12" SE INV. 838.72 12" NW INV. 836.72 12" SW INV. 836.72
6	CATCH BASIN (ODOT CB-2-3)	648033.88	1520107.83	844.50	12" NW INV. 841.50 8" SW INV. 841.50 8" SE INV. 841.50
7	CATCH BASIN (ODOT CB-2-3)	648018.73	1519837.38	841.14	12" NE INV. 838.50

GRADING PLAN LEGEND

-----850-----	EXISTING CONTOURS
—850—	PROPOSED MAJOR CONTOURS
—851—	PROPOSED MINOR CONTOURS
XXXXXX	PROPOSED SPOT ELEVATION AT CURB
XXXXXX	PROPOSED SPOT ELEVATION
1.32%	PROPOSED SLOPE
4:1	PROPOSED GRADE
[Symbol]	PROPOSED CATCH BASIN
[Symbol]	PROPOSED MANHOLE
—ST—	PROPOSED STORM SEWER
[Symbol]	ODOT TYPE D RIPRAP
---	CONSTRUCTION LIMITS



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GRADING & DRAINAGE PLAN

NOAH'S EVENT VENUE

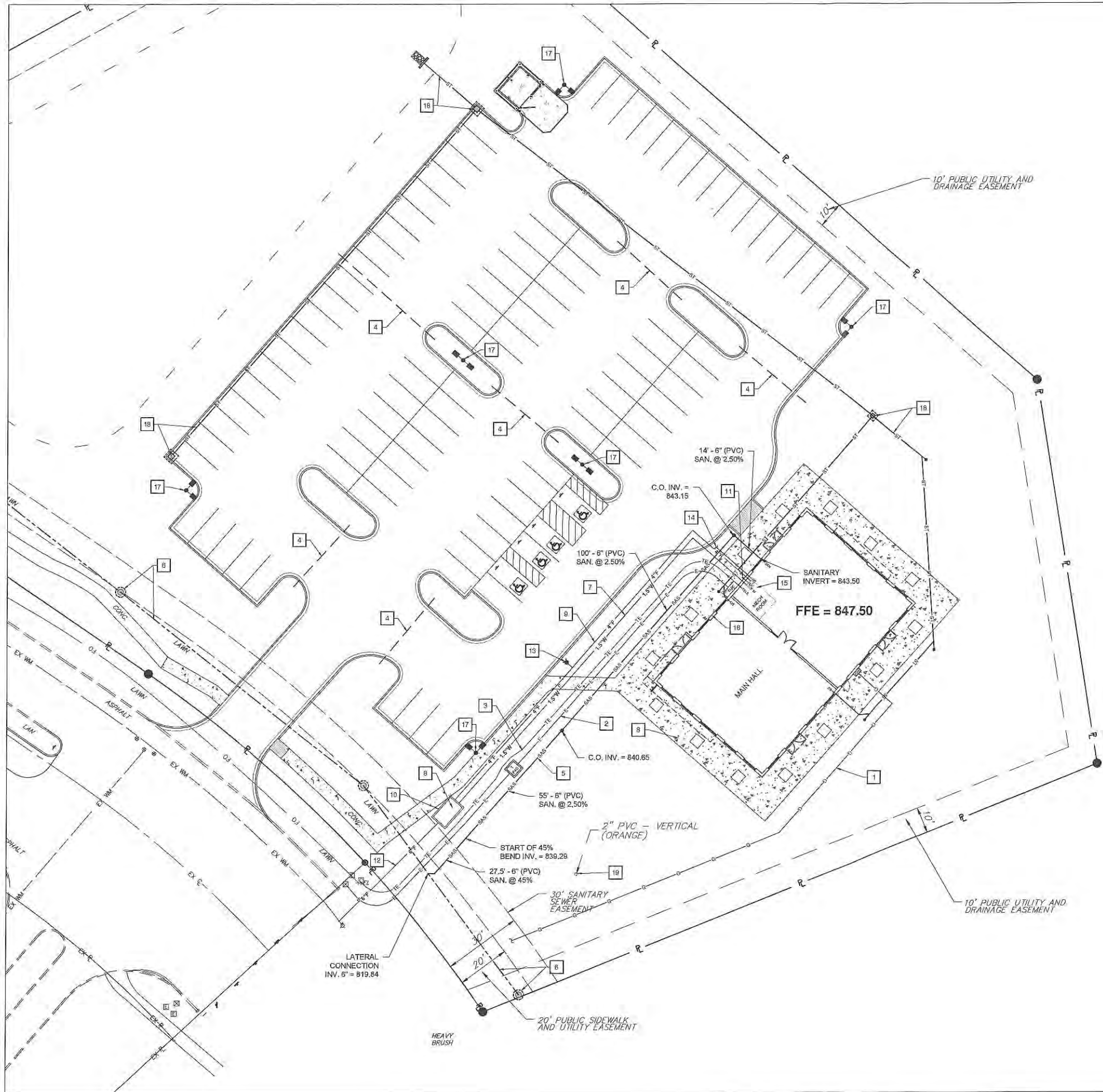
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C200



UTILITY PLAN NOTES

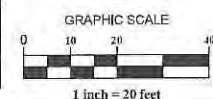
1. VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES. TEST PITS SHOULD BE MADE PRIOR TO CONSTRUCTION. FAILURE TO VERIFY UTILITIES PRIOR TO INITIATING CONSTRUCTION SHALL RESULT IN ALL APPLICABLE CHANGE ORDERS BEING THE CONTRACTOR'S RESPONSIBILITY.
2. COVER OVER EXISTING AND PROPOSED WATER MAIN MUST BE MAINTAINED AT 4'.
3. COVER OVER EXISTING AND PROPOSED SANITARY SEWER MUST BE A MINIMUM OF 4'.
4. MATERIALS AND INSTALLATION TO BE IN ACCORDANCE WITH STATE AND LOCAL CODES, N.F.P.A. AND N.E.C. STANDARDS AND SERVICE PROVIDER REQUIREMENTS.
5. ALL WORK WITHIN THE RIGHT-OF-WAY OR PUBLIC EASEMENTS FOR PRIVATE UTILITIES (GAS, ELECTRIC, DATA, ETC.) SHALL REQUIRE SEPARATE RIGHT OF WAY PERMITS.

KEYED NOTES

1. NATURAL GAS SERVICE. CONTRACTOR SHALL COORDINATE WITH SERVICE PROVIDER TO VERIFY EXACT LOCATION OF SERVICE EXTENDED TO SITE.
2. ELECTRIC SERVICE. COORDINATE WITH THE SERVICE PROVIDER TO VERIFY THE EXACT LOCATION OF SERVICE EXTENDED TO SITE, TRANSFORMER LOCATION, SIZE AND ALL STANDARDS FOR WORK. SEE ARCHITECTURAL SHEETS FOR SECONDARY WIRING DESIGN. PROPOSED TRANSFORMER PAD PROVIDED BY THE G.C. AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE UTILITY PROVIDER REQUIREMENTS.
3. TELEPHONE SERVICE. VERIFY EXACT ROUTING AND TERMINATION REQUIREMENTS WITH TELEPHONE COMPANY BEFORE STARTING WORK. CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES AND UTILIZE SHARED TRENCHING IF PERMITTED. THE G.C. SHALL BE RESPONSIBLE FOR VERIFYING REQUIREMENTS AND MAINTAINING ANY FIBER OPTIC SERVICE UNDISRUPTED.
4. (2) 4" PVC CONDUIT/SLEEVE PLACED UNDER DRIVE OUTSIDE THE R.O.W. CONDUIT TO EXTEND 5' PAST DRIVEWAY EDGE, BURY 3' DEEP AND MARKED IN THE FIELD WITH "X" ON THE TOP OF CURB.
5. SANITARY SEWER LATERALS/PIPE SHALL BE P.V.C. ASTM D-3034 SDR 23.5, SEE PLAN FOR LENGTH, SIZE AND SLOPE. JOINTS SHALL CONFORM TO ASTM D-3212. PROVIDE CLEANOUTS AS INDICATED BY "CO", COORDINATE LOCATION OF SANITARY SEWER LATERAL THROUGH FOUNDATION WITH STRUCTURAL PLANS. MAINTAIN A MINIMUM OF 10" HORIZONTAL AND 18" VERTICAL SEPARATION FROM WATER, EXISTING INVERTS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
6. SANITARY SEWER MAIN TO BE EXTENDED TO SITE PER GREENE COUNTY REQUIREMENTS AND SPECIFICATIONS. SEE SHEET C800 FOR DETAILS.
7. 1-1/2" DOMESTIC WATER SERVICE. PIPING SHALL BE TYPE "K" COPPER WITH SILVER SOLDER. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. REQUIRED FOR APPROVED CONNECTION. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED WORK.
8. 1-1/2" DOMESTIC METER TO BE INSIDE VAULT. BACKFLOW PREVENTION TO BE INSTALLED INSIDE BUILDING. SEE PLUMBING PLANS FOR DETAIL. SERVICE PROVIDER IS RESPONSIBLE FOR INSTALLATION OF THE METER. PLUMBING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF BACKFLOW PERVERTER.
9. 4" FIRE SERVICE. PIPING SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. THAT WILL BE REQUIRED FOR APPROVED CONNECTION. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED WORK.
10. 12' X 8' PRECAST CONCRETE VAULT PER GREENE COUNTY STANDARD DETAIL - FIRE AND DOMESTIC METER PIT WITH DOMESTIC BY-PASS. FDC PROVIDED AT BUILDING THEREFORE, FDC SHOWN ON COUNTY DETAIL NOT BE INSTALLED. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED WORK.
11. PROPOSED FIRE DEPARTMENT CONNECTION, PER CITY OF BEAVERCREEK FIRE DEPARTMENT SPECIFICATIONS. SITE FIRE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION.
12. 6" WATER SERVICE. PIPING SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE WITH MECHANICAL JOINTS. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. THAT WILL BE REQUIRED FOR APPROVED CONNECTION. SERVICE PROVIDER IS RESPONSIBLE FOR TAPPING THE LINE. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BACKFILL AND PIPING FROM TAP TO VAULT.
13. PROPOSED PRIVATE FIRE HYDRANT, PER GREENE COUNTY SPECIFICATIONS. FIRE HYDRANT TO BE PAINTED RED. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR ALL ASSOCIATED WORK.
14. 1" IRRIGATION WATER SERVICE. PIPING SHALL BE TYPE "K" COPPER WITH SILVER SOLDER. INCLUDE IN BASE BID ALL VALVES, PIPING STRUCTURES, ETC. THAT WILL BE REQUIRED FOR APPROVED CONNECTION. SEE IRRIGATION PLANS FOR DETAILS.
15. 1" IRRIGATION METER AND BACKFLOW (RPZ) TO BE INSIDE BUILDING. SEE PLUMBING PLANS FOR DETAILS. SERVICE PROVIDER IS RESPONSIBLE FOR INSTALLATION OF METER. SITE UTILITY CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF RPZ.
16. KNOX BOX LOCATION PER LOCAL FIRE CODE REQUIREMENTS
17. SITE LIGHTS. SEE ARCHITECTURAL SHEETS FOR CIRCUITING. SEE SHEET C401 FOR ADDITIONAL INFORMATION AND LIGHT POLE DETAIL.
18. PROPOSED STORM SEWER SYSTEM. SEE GRADING & DRAINAGE PLAN, SHEET C200 FOR DETAILS.
19. EXISTING 2" PVC PIPES LOCATED BY SURVEYOR. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER REMOVAL OR RELOCATION.

LEGEND

EX. ELECTRIC	EX. GAS	EX. STORM	EX. CABLE	EX. TELEPHONE	EX. WATER
PROP. ELECTRIC	PROP. TELEPHONE	PROP. CONDUIT	PROP. GAS	PROP. SANITARY	PROP. 2" WATER
					PROP. 4" WATER
					PROP. STORM



PLANS PREPARED FOR:

NOAH'S
EVENT VENUE

770 E. MAIN ST. #255
LEHI, UT 84043
www.noahsevenvenue.com
www.duovenues.com

PLANS PREPARED BY:

brack
engineering
NATHAN HARRINGTON
N. HARRINGTON@BRACKENG.COM
P. 514.286.3582

UTILITY PLAN

NOAH'S EVENT VENUE

MISSION POINT BLVD., BEAVERCREEK OH 45431

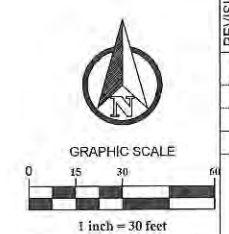
REVISIONS
NO. DATE DESCRIPTION

DATE:
01/28/2019
JOB NO.: 1816
DESIGN: NBH
CHECKED: NBH

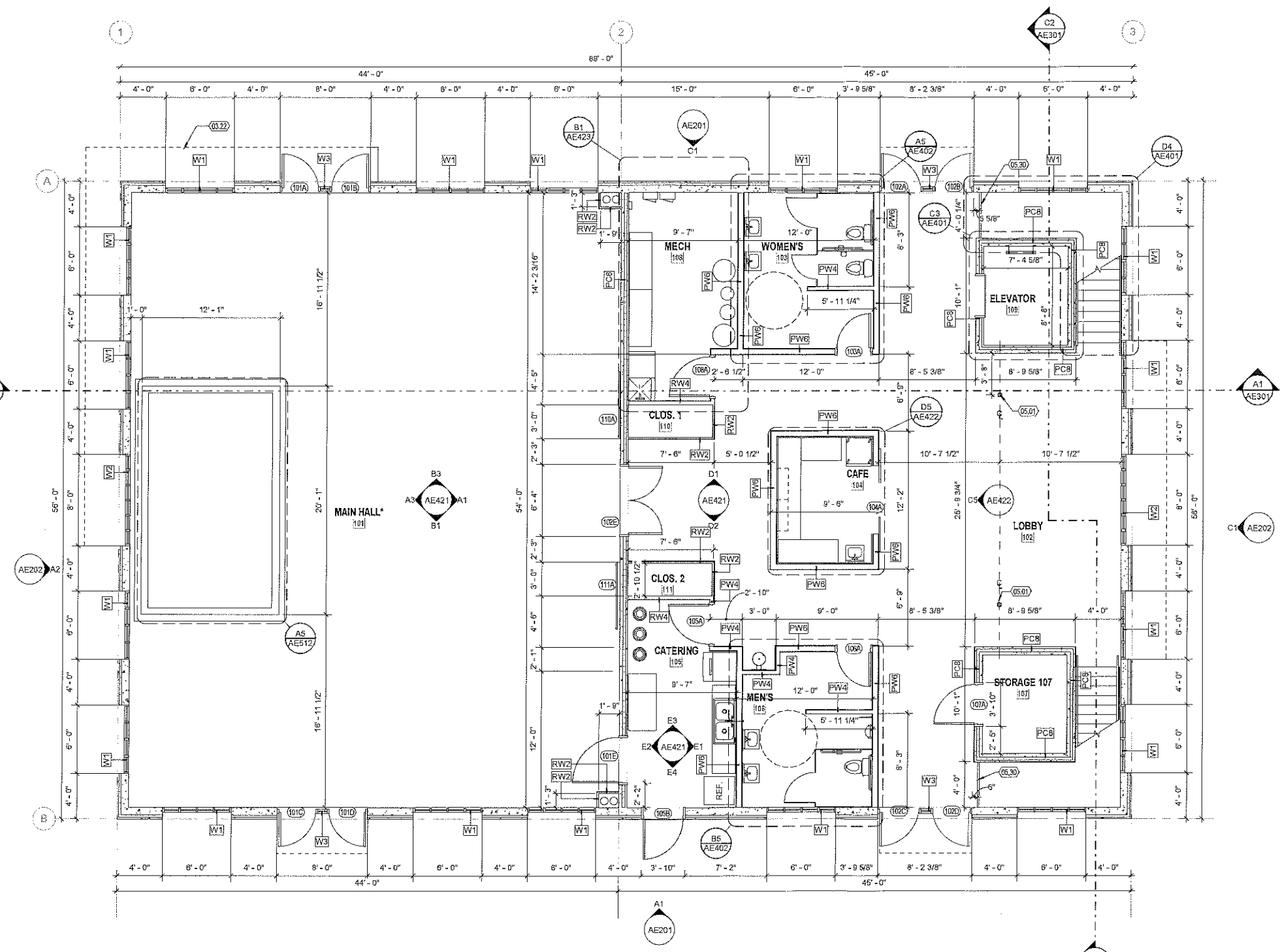
SHEET NO.

C400

© 2004 Blackwell Publishing Ltd, *Journal of Internal Medicine* 255: 103–110



EXCURRENT PROJECTS\2018\NOAHS EVENT VENUE\1816 - DAYTON OH\02-CIVIL\DESIGN\1816 - C401 - PHOTOMETRIC PLAN.DWG - 1/29/2019 12:24 AM



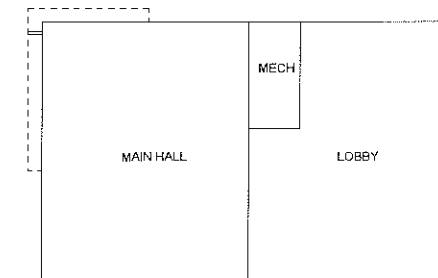
A1 MAIN LEVEL FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- 1 GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY UNKNOWN CONDITIONS, ERRORS, OR CONFLICTS IN THE DRAWINGS BEFORE BEGINNING WORK.
- 2 DO NOT SCALE DRAWINGS.
- 3 ALL EXPOSED INTERIOR COLUMNS TO BE PAINTED.
- 4 ALL EXPOSED EXTERIOR STEEL TO BE GALVANIZED UNLESS NOTED OTHERWISE.
- 5 SEE SHEET G1003 FOR TYPICAL MOUNTING HEIGHTS. PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL-MOUNTED ITEMS WHETHER BLOCKING IS DEPICTED IN DRAWINGS OR NOT.
- 6 COORDINATE ALL EQUIPMENT AND ACCESSORIES, INCLUDING ITEMS THAT ARE OFCI, WITH OWNER.
- 7 SEE SHEET SERIES AE502 FOR WALL AND ASSEMBLY TYPES.
- 8 SEE SHEET SERIES AE501 FOR DOOR & WINDOW TYPES.
- 9 SEE ELEVATIONS AND FINISH SCHEDULES FOR SURFACE TREATMENTS AT WALLS.
- 10 SEE ELEVATIONS, SECTIONS, AND DETAILS FOR ADDITIONAL WALL CONSTRUCTION INFORMATION.
- 11 ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE U.N.O.

KEYED NOTES

- 03.22 LINE OF STEEL AWNING ABOVE
05.01 STEEL COLUMN, RE: STRUCT'L
05.30 LOCATION OF CANE DETECTION RAIL



KEYPLAN - TEMPLATE "A" - E4 - S7
1" = 20'-0"

methodstudio
360 West Aspen Avenue
Salt Lake City, Utah 84101
phone: (801) 532-4422

project:
NOAH'S
—EVENT VENUE—
770 E. Main St. Lehi, UT 84043
www.noahsevents.com

Dayton, OH

project#: 18,0730
date: 01-02-19

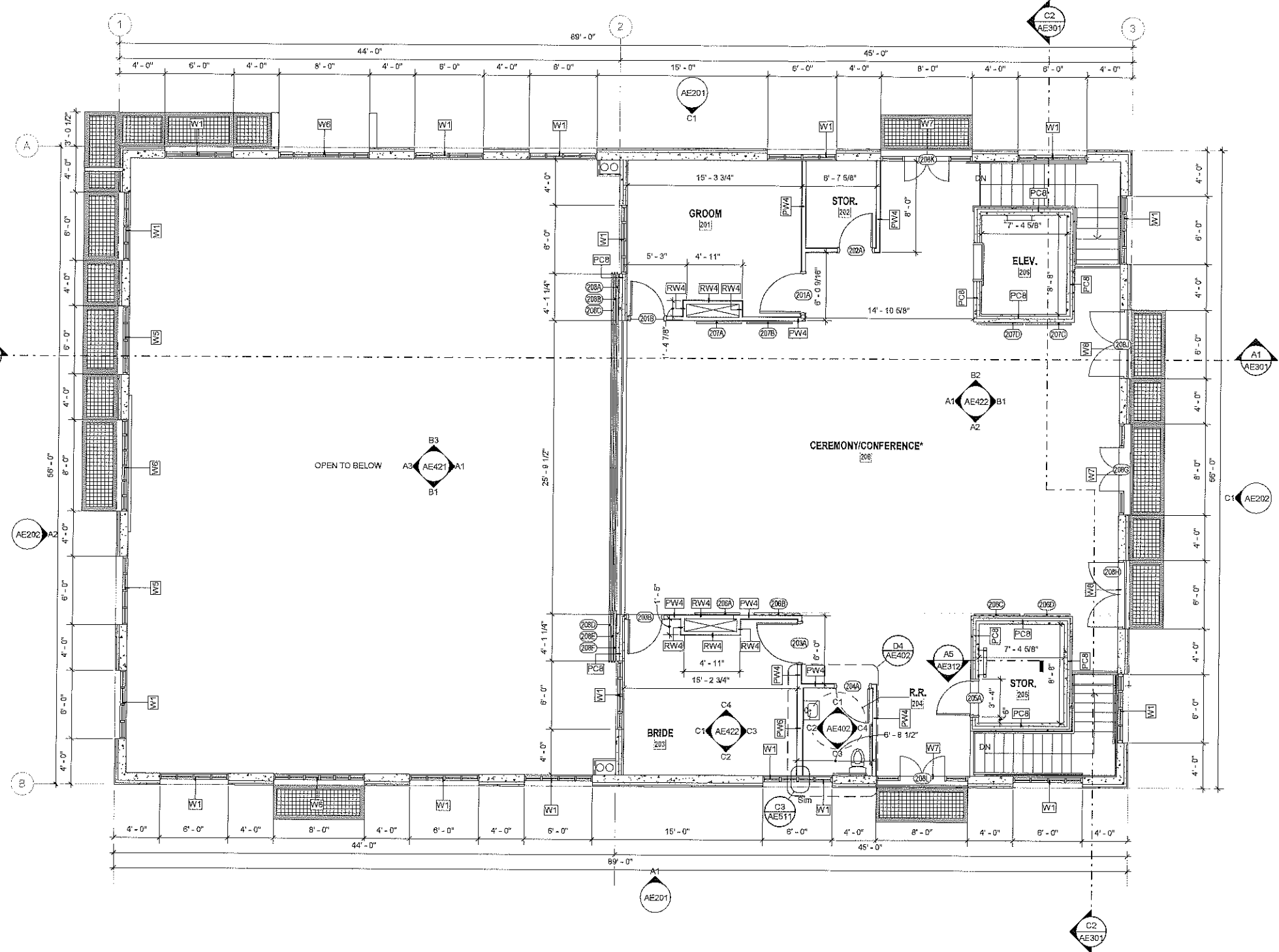
revisions:

title:
Floor Plan -
Main Level

sheet:

AE101

DEVELOPMENT SET



A1 SECOND LEVEL FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- 1 GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY UNKNOWN CONDITIONS, ERRORS, OR CONFLICTS IN THE DRAWINGS BEFORE BEGINNING WORK
- 2 DO NOT SCALE DRAWINGS
- 3 ALL EXPOSED INTERIOR COLUMNS TO BE PAINTED
- 4 ALL EXPOSED EXTERIOR STEEL TO BE GALVANIZED UNLESS NOTED OTHERWISE
- 5 SEE SHEET G1003 FOR TYPICAL MOUNTING HEIGHTS. PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL-MOUNTED ITEMS WHETHER BLOCKING IS DEPICTED IN DRAWINGS OR NOT.
- 6 COORDINATE ALL EQUIPMENT AND ACCESSORIES, INCLUDING ITEMS THAT ARE OF/OI WITH OWNER
- 7 SEE SHEET SERIES AE502 FOR WALL AND ASSEMBLY TYPES
- 8 SEE SHEET SERIES AE601 FOR DOOR & WINDOW TYPES
- 9 SEE ELEVATIONS AND FINISH SCHEDULES FOR SURFACE TREATMENTS AT WALLS
- 10 SEE ELEVATIONS, SECTIONS, AND DETAILS FOR ADDITIONAL WALL CONSTRUCTION INFORMATION
- 11 ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE U.N.O.

KEYED NOTES

methodstudio
360 west aspen avenue
salt lake city, utah 84101
phone: (801) 532-4422

project:
NOAH'S
EVENT VENUE
770 E. 6500 S. Lehi, UT 84043
www.noahseventvenue.com

Dayton, OH

project#: 18.0730
date: 01-02-19

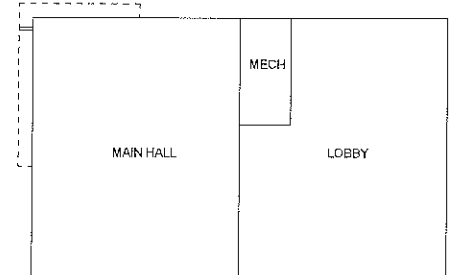
revisions:

title:
Floor Plan -
Second Level

sheet:

AE102

DEVELOPMENT SET



KEYPLAN - TEMPLATE "A" - E4 - S7
1" = 20'-0"

MATERIAL LEGEND

- COPINGMETAL COPING CAP, COLOR TO BE BLACK
- AWNINGPAINTED STEEL SHADE AWNING, POWDER-COATED, SEE DETAIL
- SIGNAGEBUILDING SIGNAGE REQUIRES SEPARATE SUBMITTAL AND APPROVALS
- CONCRETEPRECAST CONCRETE PANEL
- GLAZINGBLACK ANODIZED WOOD METAL CLAD GLAZING, SEE GLAZING ELEVATIONS ON SHEET AE601
- MESH ELEMENTWALL AND AWNING ELEMENT CREATED OUT OF STEEL C-CHANNELS AND 2X2 WWF. RE: DETAILS
- LIGHTWALL SCONCE LOCATION, RE: ELECTRICAL PLANS
- RAILINGBLACK, POWDER-COATED GUARDRAIL
- PANELBLACK CORRUGATED STEEL PANELS OVER STEEL STRUCTURE FOR ROOFTOP UNIT SCREENING, RE: ROOF PLAN FOR DETAILS
- SIDING #1LONGBOARD (OR EQUAL) EXTRUDED ALUMINUM SIDING, WOOD PATTERN COLOR - DARK CHERRY OR APPROVED EQUAL
- KNOX BOXESTIMATED KNOX BOX LOCATION LOCAL FIRE DISTRICT TO FINALIZE LOCATION
- JOINTJOINT BETWEEN CONCRETE PANELS, RE: STRUCTURAL AND/OR PRECAST DRAWINGS

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION

methodstudio
160 West Aspen Avenue
Salt Lake City, Utah 84101
phone: (801) 532-4422

project:
NOAH'S
—EVENT VENUE—
770 E. 3600th St. Suite 100 UT 84043
www.noahsvenue.com

Dayton, OH

project#: 18.0730
date: 01-02-19

revisions:

title:
Exterior Elevations

sheet:

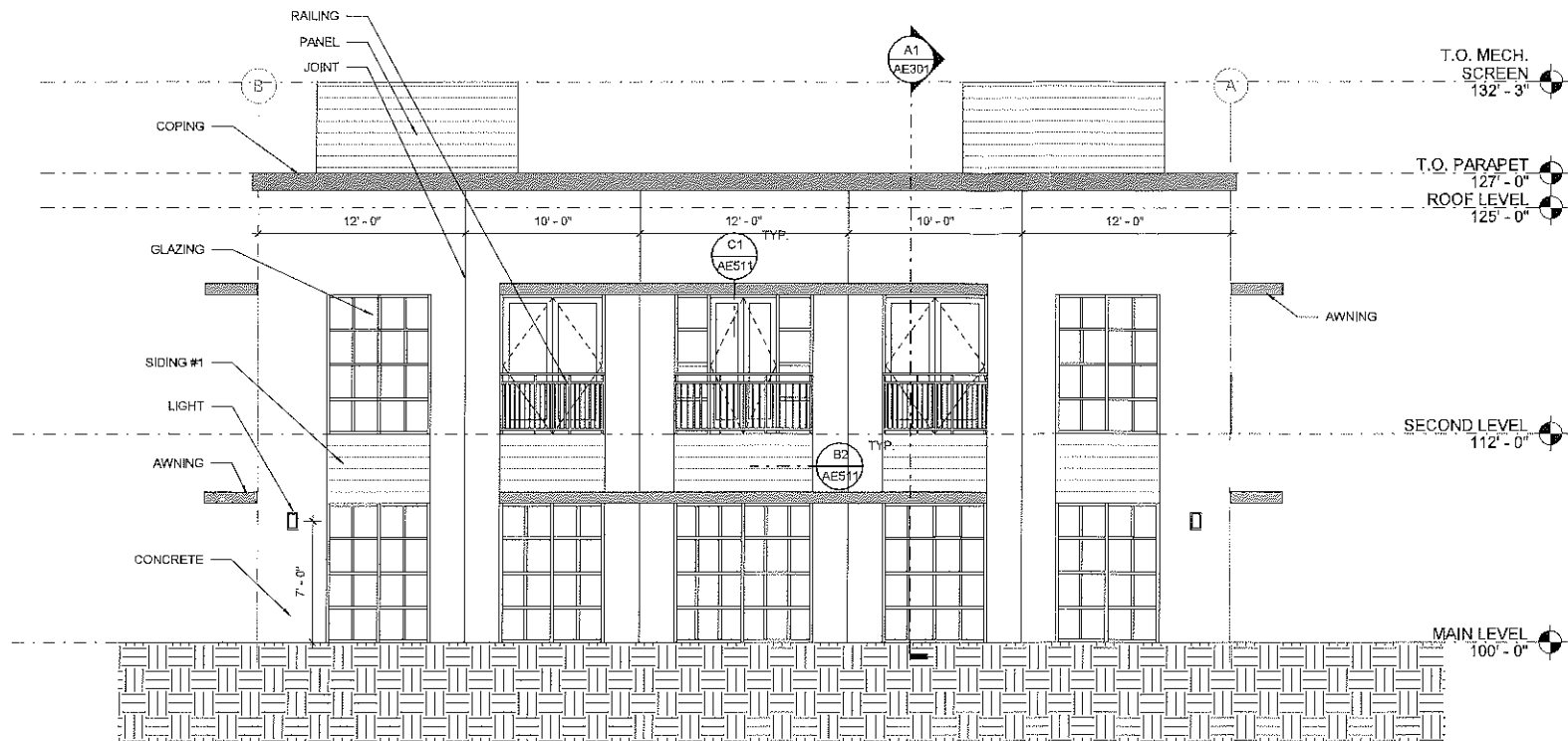
AE201

DEVELOPMENT SET

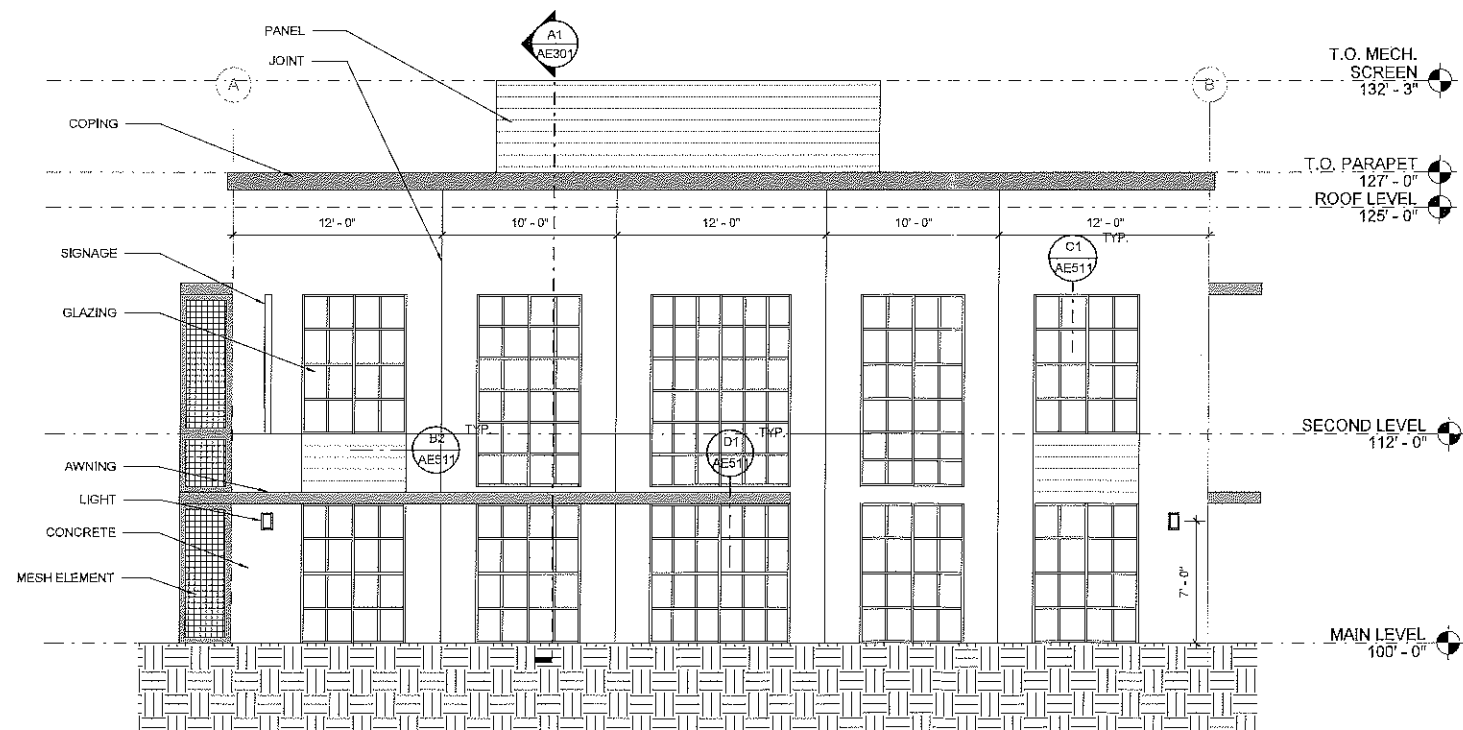
C1 West Exterior Elevation
3/16" = 1'-0"

A1 East Exterior Elevation
3/16" = 1'-0"

A5 SIGNAGE DETAIL
3/8" = 1'-0"



C1 North Exterior Elevation
3/16" = 1'-0"



A2 South Exterior Elevation
3/16" = 1'-0"

MATERIAL LEGEND

COPING	METAL COPING CAP, COLOR TO BE BLACK
AWNING	PAINTED STEEL SHADE AWNING, POWDER-COATED, SEE DETAIL
SIGNAGE	BUILDING SIGNAGE REQUIRES SEPARATE SUBMITTAL AND APPROVALS
CONCRETE	PRECAST CONCRETE PANEL
GLAZING	BLACK ANODIZED WOOD METAL CLAD GLAZING. SEE GLAZING ELEVATIONS ON SHEET AE301
MESH ELEMENT	WALL AND AWNING ELEMENT CREATED OUT OF STEEL C-CHANNELS AND 2X2 WWF. RE: DETAILS
LIGHT	WALL SCONCE LOCATION, RE: ELECTRICAL PLANS
RAILING	BLACK, POWDER-COATED GUARDRAIL
PANEL	BLACK CORRUGATED STEEL PANELS OVER STEEL STRUCTURE FOR ROOFTOP UNIT SCREENING, RE: ROOF PLAN FOR DETAILS
SIDING #1	LONGBOARD (OR EQUAL) EXTRUDED ALUMINUM SIDING, WOOD PATTERN COLOR - DARK CHERRY OR APPROVED EQUAL
KNOX BOX	ESTIMATED KNOX BOX LOCATION LOCAL FIRE DISTRICT TO FINALIZE LOCATION
JOINT	JOINT BETWEEN CONCRETE PANELS, RE: STRUCTURAL AND/OR PRECAST DRAWINGS

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION

methodstudio
360 West Aspen Avenue
Salt Lake City, Utah 84101
phone: (801) 532-4422

project:
NOAH'S
—EVENT VENUE—
170 E. Main St. Suite 117 84103
www.noahsvenue.com

Dayton, OH

project#: 18,6730
date: 01-02-19

revisions:

title:
Exterior
Elevations

sheet:

AE202

DEVELOPMENT SET

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method studio
360 west aspen avenue
salt lake city, utah 84101
phone: (801) 522-4422

project:
NOAH'S
—EVENT VENUE—
770 E. Main St, Lehi UT 84043
www.noahsvenue.com

Dayton, OH

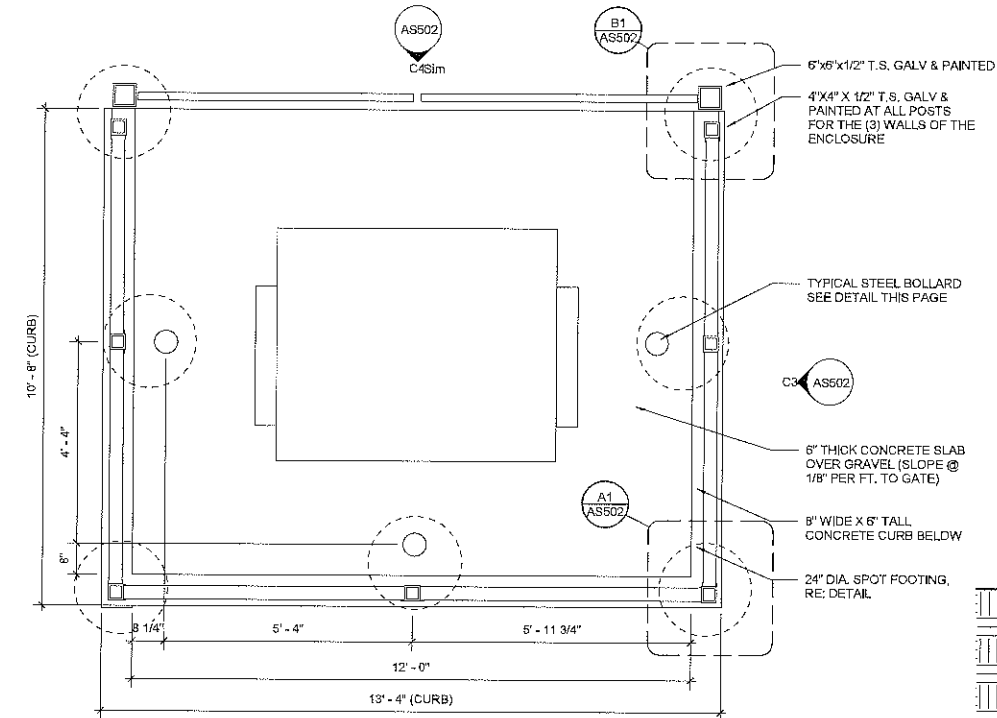
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date: 01-02-19

revisions:

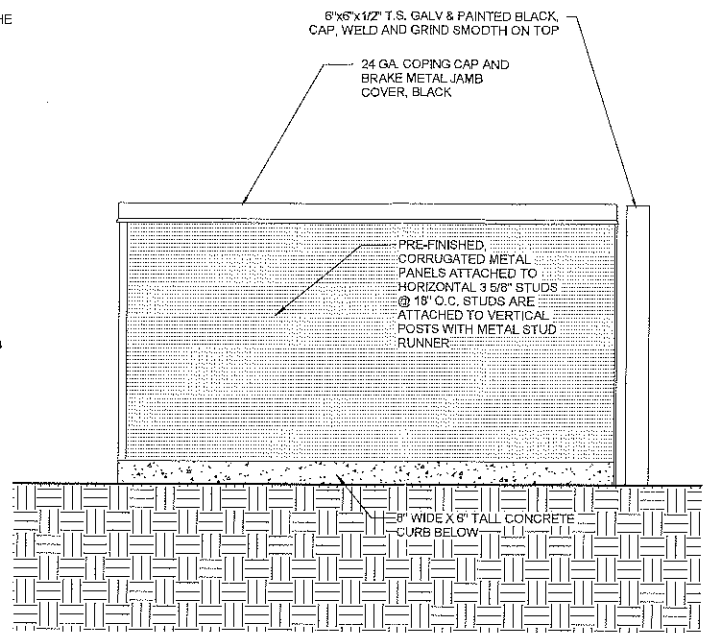
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**Architectural
Site Details**

sheet:
AS502

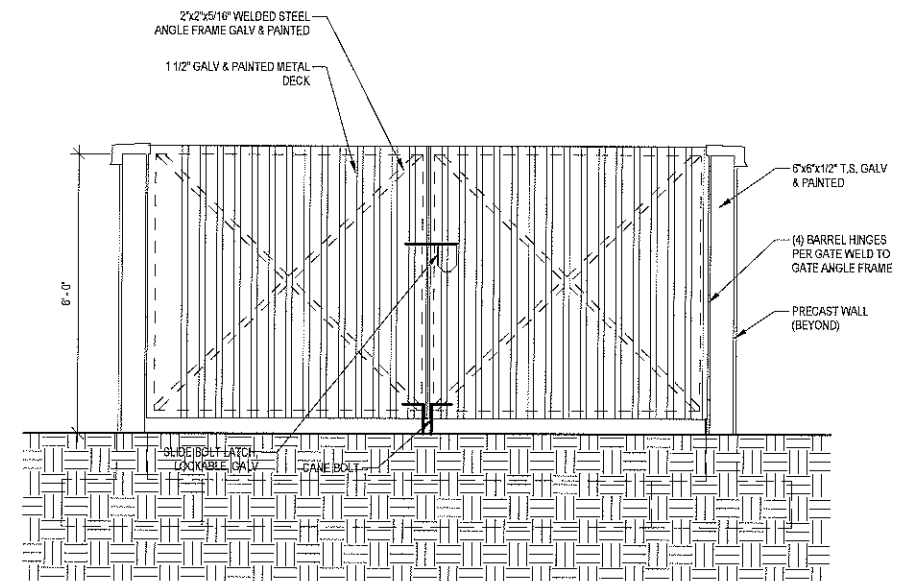
DEVELOPMENT SET



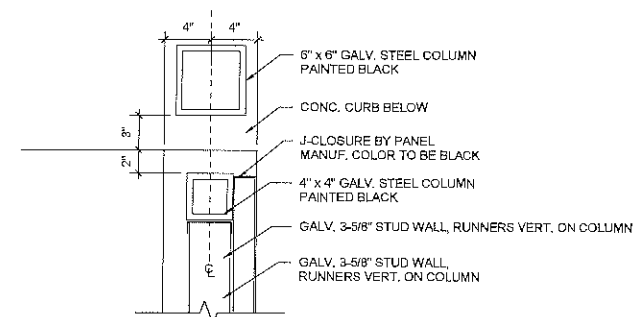
C1 DUMPSTER ENCLOSURE PLAN
1/2" = 1'-0"



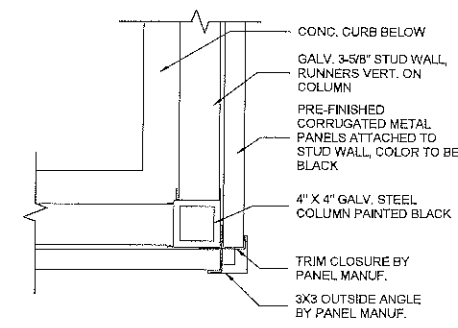
C3 DUMPSTER ENCLOSURE SIDE ELEVATION
1/2" = 1'-0"



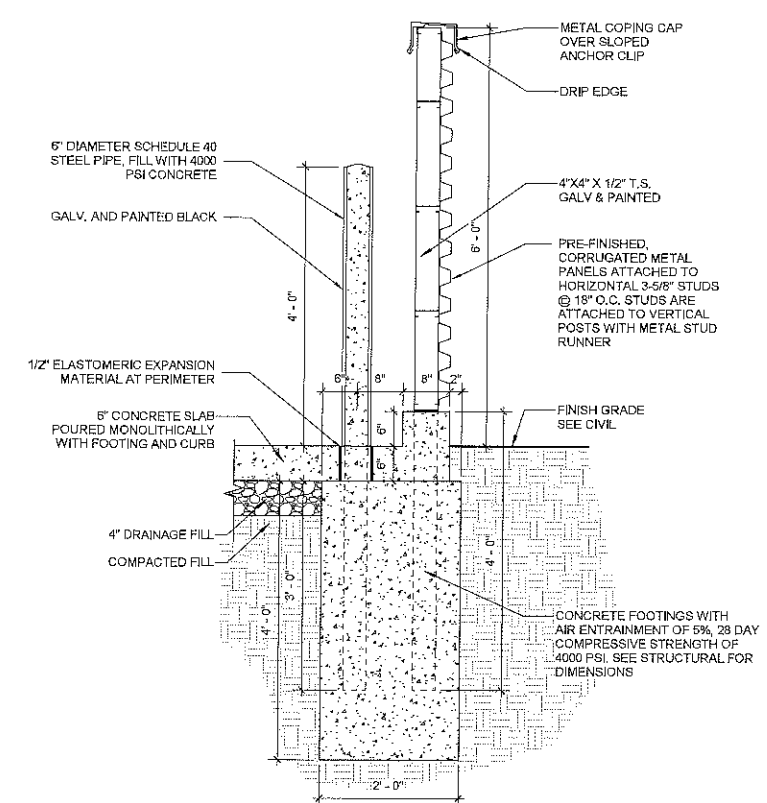
C4 DUMPSTER ENCLOSURE GATE ELEVATION
1/2" = 1'-0"



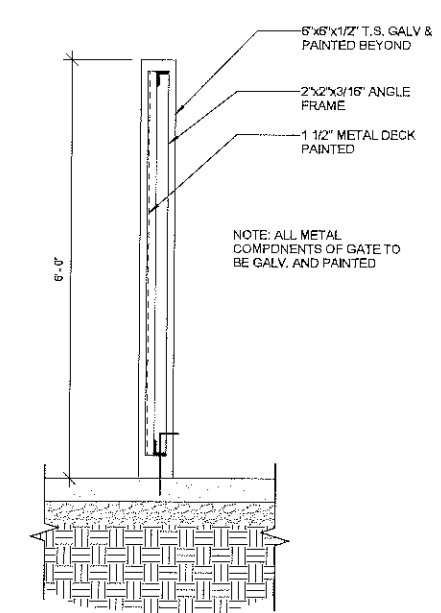
B1 DUMPSTER GATE JAMB DETAIL
1 1/2" = 1'-0"



A1 DUMPSTER CORNER DETAIL
1 1/2" = 1'-0"



A3 DUMPSTER ENCLOSURE WALL SECTION1
3/4" = 1'-0"



A5 DUMPSTER ENCLOSURE GATE SECTION1
3/4" = 1'-0"

Noah's Event Venue
Dayton, OH



South Perspective
methodstudio

RECEIVED

JAN 29 2019

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

Noah's Event Venue
Dayton, OH



Southeast Elevation
methodstudio

Noah's Event Venue
Dayton, OH



East Perspective
methodstudio

Noah's Event Venue
Dayton, OH



North Perspective
methodstudio

Noah's Event Venue
Dayton, OH



Northwest Elevation
methodstudio

Noah's Event Venue

Dayton, OH



West Perspective
methodstudio

NOAH'S™

·EVENT VENUE·

Dayton, OH



WOOD SIDING

Material:
Longboard Aluminum
Wood Look Siding
Color:
Dark Cherry



STEEL AWNING FACE

Material:
Powder Coated Steel
Color: Black / Dark to
match Aluminum trim



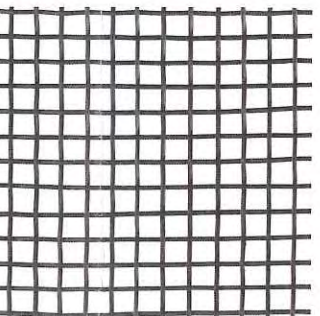
CONCRETE WALL PANEL

Material:
Fabcon Precast Con-
crete Wall



STEEL AWNING MESH

Material:
Square welded Wire
Mesh - Painted and
Sealed



WINDOWS AND TRIM

Material:
Black Anodized Alumi-
num Windows
Trim and Fascia to
match



MECHANICAL SCREEN

Material:
Corrugated metal.
Color:
Dark to match Black
Aluminum Trim



January 31, 2019

**STAFF REPORT
FINAL SUBDIVISION REQUEST
Mission
Point CASE
NO. S 19-1**

APPLICANT: Chris Winkle
47 Greenfield Drive
Milford OH 43045

**ENGINEER/
SURVEYOR:** BA Land Professionals
8534 Yankee Street
Dayton OH 45458

NATURE OF REQUEST

The applicant is requesting approval of a final subdivision for approximately 3.18 acres within Mission Point in order to create a lot for the proposed NOAH's Event Venue.

I. DISCUSSION

A single lot is being proposed to be created from the approximately 55-acre parcel within the existing Mission Point subdivision. Lot 4 would consist of roughly 3.18 acres on the east side of Mission Point Boulevard, across from the existing office building. The remaining 51.8 acres will remain unplatted until future development occurs.



Comments were received from the various area agencies, utilities, and city departments commonly included in reviewing proposed plans during the record plan review process. Those comments will need to be addressed prior to the release of the record plan.

II. RECOMMENDATION

Staff recommends approval of this final subdivision request subject to the following conditions, which must be addressed prior to release of the record plan

1. The approved record plan shall be the plan stamped "Received January 29, 2019," except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Greene County Sanitary Engineering Department, Greene County Auditor, public utility providers, and the Beavercreek Township Fire Department shall be addressed and satisfied prior to release of the record plan for recording.
3. Prior to release of the record plan for recording, the applicant shall provide a digital format file of the subdivision in Autocad or .dxf format

DEDICATION AND ACKNOWLEDGEMENT:

WE THE UNDERSIGNED BEING THE OWNERS OF THE LAND HEREIN SUBDIVIDED, DO HEREBY VOLUNTARILY CONSENT TO THE EXECUTION OF SAID PLAT AND DO HEREBY DEDICATE THE UTILITY EASEMENTS TO THE PUBLIC USE FOREVER.

EASEMENTS SHOWN ON THIS PLAT ARE FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER LINES, GAS LINES, STORM SEWER DRAINAGE, SANITARY SEWER, ELECTRIC, TELEPHONE, COMMUNICATION OR OTHER UTILITY SERVICES AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREE OR OTHER OBSTRUCTIONS THE THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSE, AND ARE TO BE MAINTAINED AS SUCH FOREVER.

WE ALSO DEDICATE TO GREENE COUNTY, OHIO, THE SANITARY SEWER LINES AND WATER LINES UPON COMPLETION OF CONSTRUCTION OF SAID ITEMS AND ALSO DEDICATE AN EASEMENT OVER THE LANDS WHICH SAID SANITARY LINES AND WATER MAINS ARE INSTALLED TO THE PUBLIC USE FOREVER.

SUBJECT TO AN EXISTING NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS TO ALL GOVERNMENTAL AUTHORITIES TO ENTER UPON ALL LOTS IN THIS SUBDIVISION IN ORDER TO PERFORM THEIR GOVERNMENTAL DUTIES AS SHOWN ON PC 36, PAGE 360A-361A.

MISSION POINT BLVD. IS A PRIVATE DRIVE, ALLOWING FOR PUBLIC VEHICULAR AND PEDESTRIAN TRAFFIC FOREVER AS RECORDED IN PC 36, PAGE 360A-361A.

THE OWNER OF ANY DEDICATED EASEMENT WITHIN THE PLAT DOES HEREBY RESERVE THE RIGHT TO USE THE DEDICATED EASEMENT AREAS FOR ITS OWN PURPOSES AS LONG AS SUCH USE DOES NOT MATERIALLY INTERFERE WITH THE EASEMENTS GRANTED HEREON.

RESTRICTIONS:

ANY AND ALL CONDITIONS, REQUIREMENTS AND DEVELOPER OBLIGATIONS OF THE CITY OF BEAVERCREEK ZONING CASES AS SHOWN IN P.U.D. 06-4 AND CITY AMENDMENTS THERETO, INCLUDING COVENANTS, CONDITIONS OR MODIFICATIONS OF ANY SITE PLAN APPROVAL ARE TO BE MADE A PART OF THE RESTRICTIONS OF THIS SUBDIVISION AND ARE INTENDED TO BE RESTRICTIONS, CONDITIONS AND OBLIGATIONS WHICH RUN WITH THE LAND AND LOTS OF THIS SUBDIVISION.

OWNER / DEVELOPER:

COLONEL GLENN LAND DEVELOPMENT, LLC
AN OHIO LIMITED LIABILITY COMPANY
BY: MILLER-VALENTINE PARTNERS, LTD. II
AN OHIO LIMITED LIABILITY COMPANY

ITS: _____

BY: _____

PRINT: _____

ACKNOWLEDGEMENT:

STATE OF OHIO
MONTGOMERY COUNTY

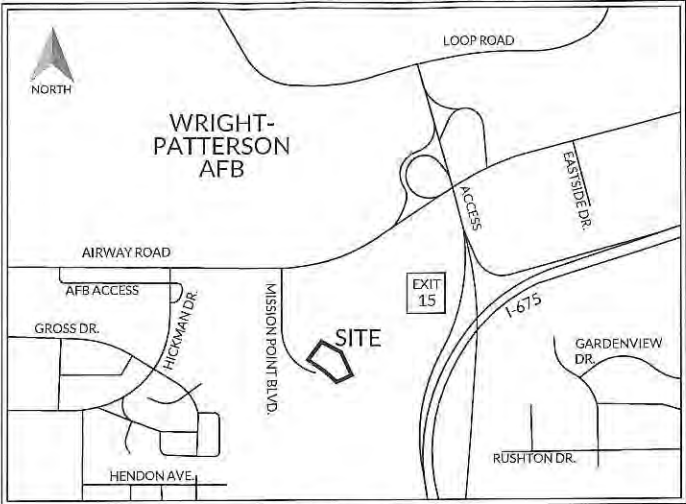
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____, 2019
BEFORE ME, A NOTARY PUBLIC AND FOR SAID STATE, PERSONALLY CAME _____
A REPRESENTATIVE FOR COLONEL GLENN LAND DEVELOPMENT, LLC. WHO THEN AND THERE DID ACKNOWLEDGE THE SIGNING OF THE FORGOING INSTRUMENT, AND THE SAME IS HIS/HER FREE ACT AND DEED FOR THE USES AND PURPOSE THEREIN MENTIONED AND THAT OF THE COLONEL GLENN LAND DEVELOPMENT LLC.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MAY AND AND SEAL ON
THIS _____ DAY OF _____

NOTARY PUBLIC, STATE OF OHIO MY COMMISSION EXPIRES: _____

RECORD PLAT
MISSION POINT - SECTION TWO

SECTION 11, TOWN 2, RANGE 7 M.Rs.
CITY OF BEAVERCREEK,
GREENE COUNTY, OHIO



VICINITY MAP: NTS

OWNER
COLONEL GLENN LAND DEVELOPMENT LLC.
AN OHIO LIMITED LIABILITY COMPANY
P.O. BOX 744
DAYTON, OH 45401

CLIENT / DEVELOPER
NOAH'S EVENT CENTER
770 E. MAIN STREET
SUITE 255
LEHI, UT 84043

DESCRIPTION

BEING A PLAT OF MISSION POINT, SECTION 2 AND BEING PART OF THE LANDS OF COLONEL GLENN LAND DEVELOPMENT, LLC. AS RECORDED IN OR 2745, PAGE 482 OF SECTION 7, TOWN 2, RANGE 11 M.Rs.

PERTINENT DOCUMENTS

ALL DOCUMENTS USED TO ASCERTAINED THE BOUNDARY AS SHOWN ARE LISTED HEREIN AND ARE OF RECORD OF THE GREENE COUNTY, OH RECORDS ON FILE IN XENIA AND MONTGOMERY COUNTY, OHIO ON FILE IN DAYTON, OH.

OCCUPATION STATEMENT

NO EVIDENCE OF OCCUPATION NOTED AT THE TIME OF THE SURVEY.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS A SURVEY MADE BY B A LAND PROFESSIONALS, LLC UNDER THE DIRECT SUPERVISION OF J. BRYANT ABT, P.S. AND WAS MADE IN ACCORDANCE TO OAC 4733-37 AND 711.01-40. ALL MONUMENTATION AS SHOWN HEREON IS IN GOOD CONDITION UNLESS NOTED OTHERWISE

_____, DATE _____
J. BRYANT ABT
OHIO PS #5-8593
ABT@BALANDPROFESSIONALS.COM
937.558.6671

LAND SURVEYOR:
J. BRYANT ABT, PS
OHIO #5-8593
8534 YANKEE STREET
DAYTON, OH 45458
937.535.0855
INFO@BALANDPROFESSIONALS.COM

ACCEPTANCE OF WATER AND SEWER EASEMENTS:

COUNTY COMMISSIONERS:

WE THE COUNTY COMMISSIONERS OF GREENE COUNTY, OHIO, DO HEREBY ACCEPT THE SANITARY SEWER AND WATER LINE EASEMENTS AS SHOWN ON THIS PLAT.

THIS PLAT APPROVED BY GREENE COUNTY, OHIO ON THIS _____ DAY OF _____, 2019

COUNTY COMMISSIONER

COUNTY COMMISSIONER

COUNTY COMMISSIONER

APPROVAL AND ACCEPTANCE OF RECORD PLAT:

THIS PLAT IS APPROVED BY THE CITY OF BEAVERCREEK, OHIO ON THIS _____ DAY OF _____, 2019

PLANNING DIRECTOR

PLANNING COMMISSION CHAIRPERSON

GREENE COUNTY RECORDER:

FILED FOR RECORDING THIS _____ DAY OF _____, 2019

AT _____ FILE NUMBER _____

RECORDED THIS _____ DAY OF _____ JANUARY 2019, IN
PLAT CABINET VOLUME _____ PAGES _____

GREENE COUNTY RECORDER

GREENE COUNTY AUDITOR:

TRANSFERRED ON THIS _____ DAY OF _____, 2019

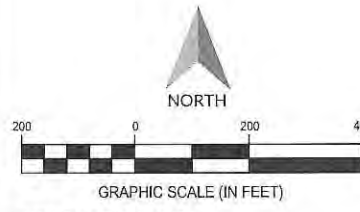
GREENE COUNTY AUDITOR

RECORD PLAT			
MISSION POINT - SECTION TWO			
MISSION POINT BLVD. CITY OF BEAVERCREEK		SECTION 11, TOWN 2, RANGE 7 M.Rs. GREENE COUNTY, OHIO	
SCALE: N/A		DATE: 12/31/18 rev 01/29/19	
DESIGN: N/A			JOB: 18-0296
DESIGN: JBA			SHEET NO:
CHECKED: DPB			1 OF 3

RECEIVED

JAN 29 2019

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

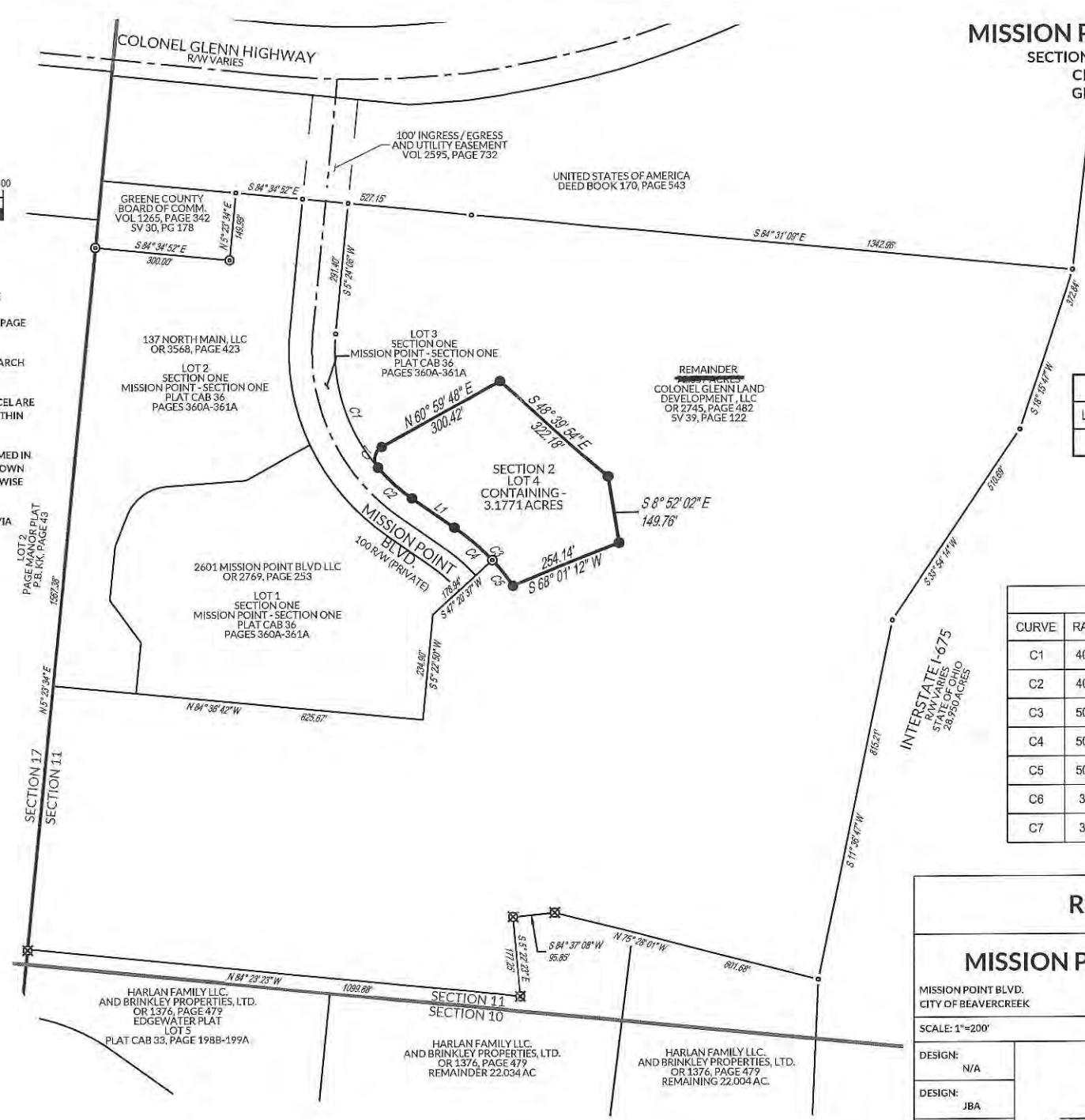


SURVEYOR'S NOTES:

1. NORTH AND BEARING SYSTEM BASED UPON THE NORTHERLY LINE OF THE SUBJECT PARCEL S84°31'02"E, AS RECORDED IN PLAT CABINET 36, PAGE 360A-361A.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR.
3. ALL UTILITIES ARE SERVICING THE SUBJECT PARCEL ARE LOCATED IN THE PUBLIC RIGHT-OF-WAY OR WITHIN PUBLIC AND DEDICATED EASEMENTS.
4. SURVEY PREPARED FROM FIELDWORK, PERFORMED IN DECEMBER OF 2018. ALL MONUMENTATION SHOWN HEREON IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.
5. ACCESS TO THE SUBJECT PARCEL IS AVAILABLE VIA MISSION POINT BLVD., A PRIVATE ROADWAY.

MAP LEGEND:

- SET 5/8" X 30" IRON PIN WITH YELLOW CAP STAMPED "BALAND PROFESSIONALS"
- SURVEY REFERENCE POINT - NO MONUMENT FOUND OR SET
- ⊙ FOUND 5/8" IRON PIN AND CAP STAMPED "KLEINGERS"
- ⊗ FOUND FENCE POST IN CONCRETE
- SECTION LINE
- BOUNDARY LINE
- ADJOINER LINE
- EASEMENT LINE
- SETBACK LINE
- - - ROADWAY CENTERLINE



RECORD PLAT
MISSION POINT - SECTION TWO
SECTION 11, TOWN 2, RANGE 7 M.Rs.
CITY OF BEAVERCREEK,
GREENE COUNTY, OHIO
INSET MAP

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N55° 22' 47"W	114.56

CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD
C1	400.00'	320.79'	S17° 34' 20"E, 312.26'
C2	400.00'	103.55'	N47° 57' 48"W, 103.27'
C3	500.00'	184.60'	N44° 48' 10"W, 183.55'
C4	500.00'	111.03'	N49° 00' 57"W, 110.80'
C5	500.00'	73.58'	N38° 26' 30"E, 73.51'
C6	30.00'	53.17'	N10° 13' 30"E, 46.48'
C7	30.00'	53.17'	N10° 13' 30"E, 46.48'

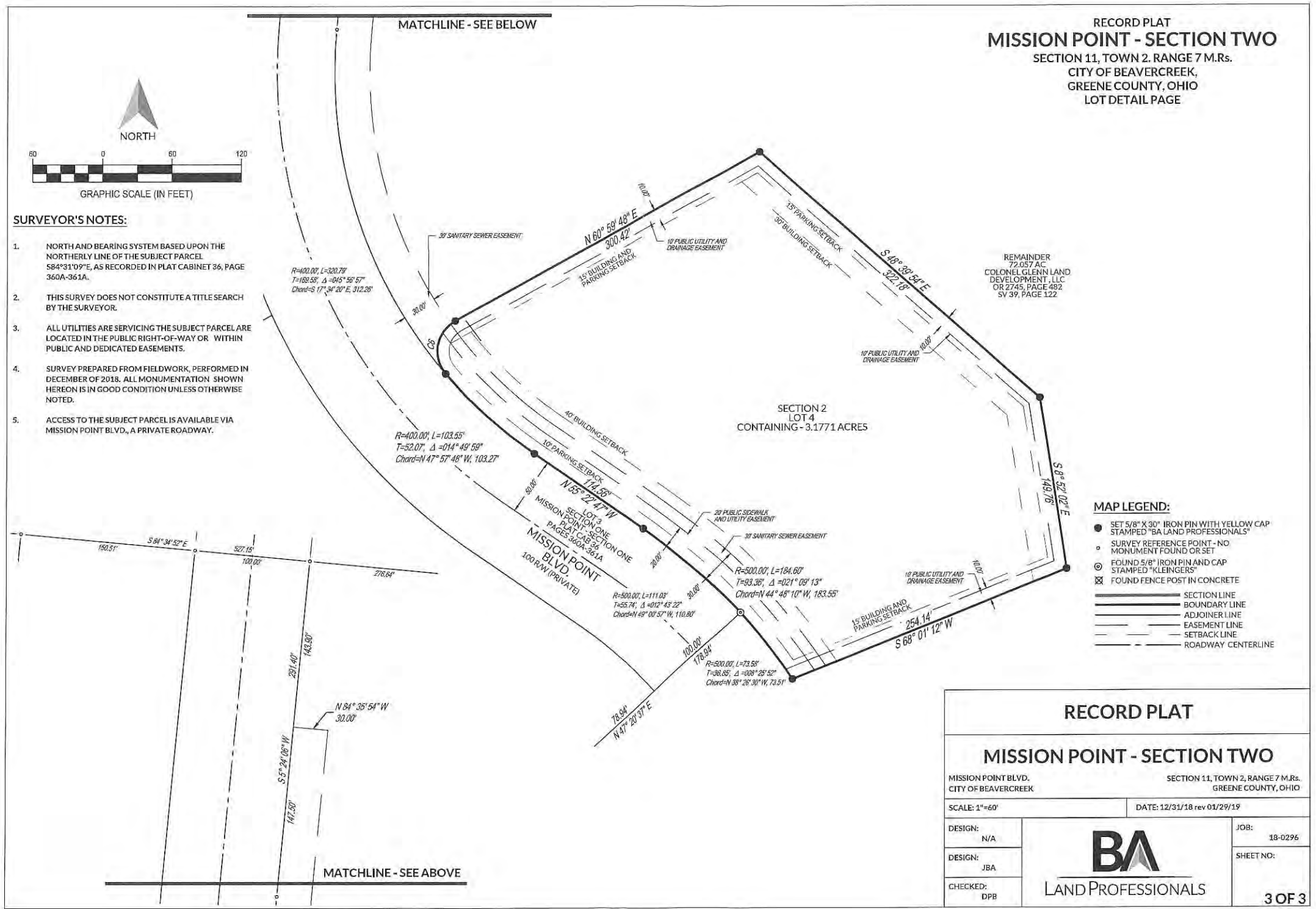
INTERSTATE 675
STATE OF OHIO
28,250 ACRES

RECORD PLAT

MISSION POINT - SECTION TWO

MISSION POINT BLVD. CITY OF BEAVERCREEK		SECTION 11, TOWN 2, RANGE 7 M.Rs. GREENE COUNTY, OHIO	
SCALE: 1"=200'		DATE: 12/31/18 rev 01/29/19	
DESIGN: N/A		JOB: 18-0296	
DESIGN: JBA		SHEET NO:	
CHECKED: DPB		2 OF 3	

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PLANNING DEPARTMENT